

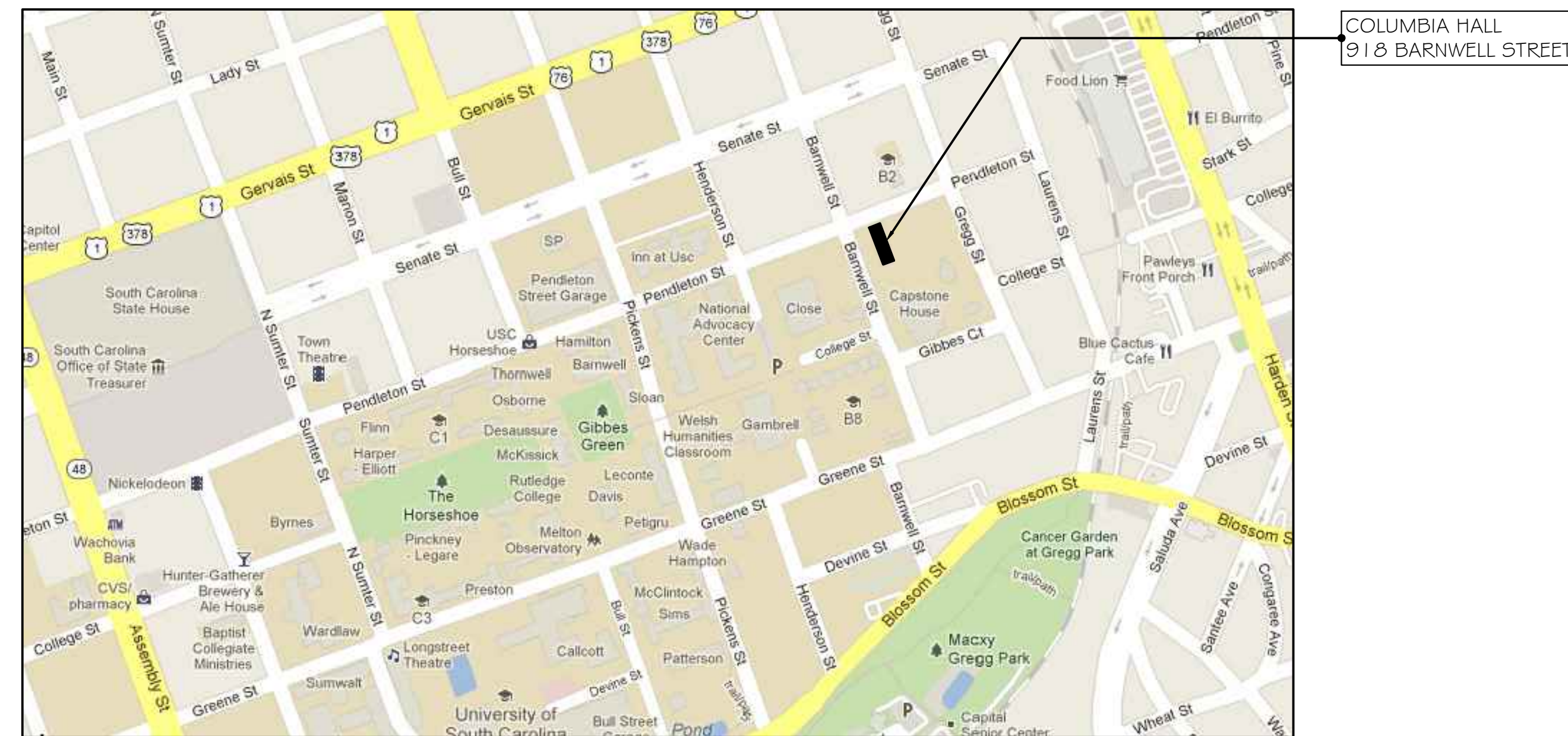
COLUMBIA HALL ELEVATOR MODERNIZATION

STATE PROJECT NO.: H27-6008

UNIVERSITY OF SOUTH CAROLINA COLUMBIA, SOUTH CAROLINA

Jumper
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Sease

Architects
PA
412 Meeting Street
West Columbia
South Carolina



VICINITY MAP

COLUMBIA HALL ELEVATOR MODERNIZATION
UNIVERSITY OF SOUTH CAROLINA
COLUMBIA, SOUTH CAROLINA



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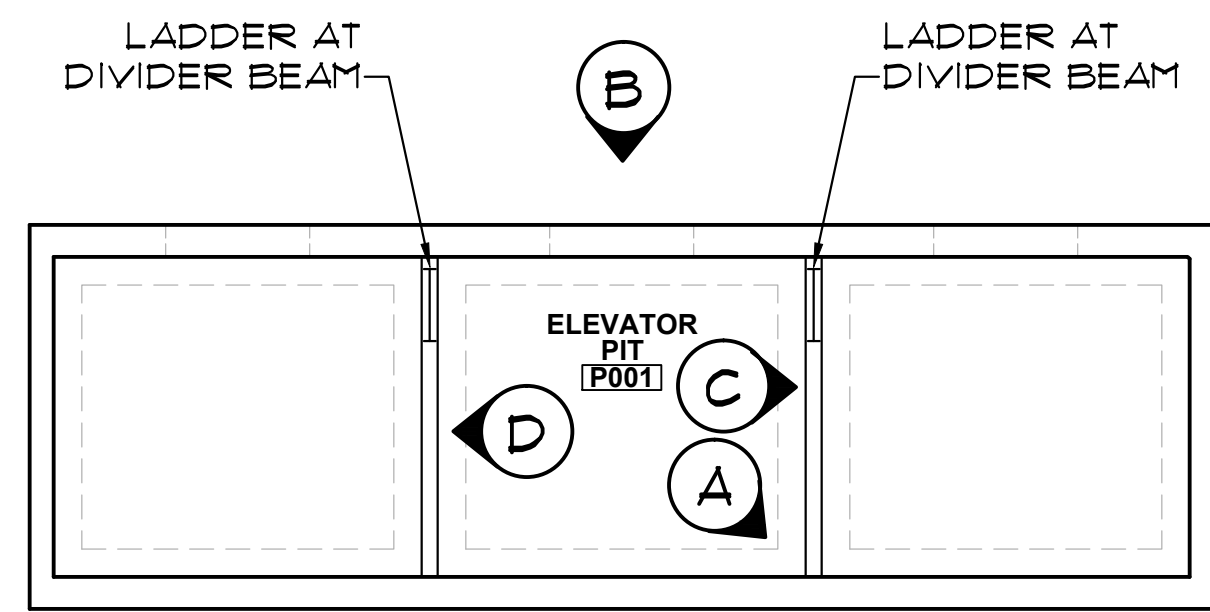
| ABBREVIATIONS | PROJECT CONTACTS | INDEX OF DRAWINGS | BUILDING CODE REVIEW DATA |
|--|--|---|---|
| <p>A.C.T. ACOUSTICAL CEILING TILE ALUM. ALUMINUM BD BOARD BLKG BLOCKING C.J. CONTROL JOINT C.T. CERAMIC TILE CMU CONCRETE MASONRY UNIT CONC. CONCRETE CONT CONTINUOUS CPT CARPET CR CLASSROOM DTL DETAIL E.J. EXPANSION JOINT ELEC. ELECTRICAL EQ EQUAL EXIST./EXG EXISTING/EXPANSION EXP EXPANSION FE FIRE EXTINGUISHER FEC FIRE EXTINGUISHER CABINET FF FINISH FLOOR FLR FLOOR FTG FOOTING GALV GALVANIZED GC GENERAL CONTRACTOR GWSUM GYPSUM WALL BOARD HM HOLLOW METAL HORIZ HORIZONTAL I.D. INSIDE DIAMETER INSUL INSULATION</p> <p>MECH MECHANICAL MFR MANUFACTURER MB MARKER BOARD M.O. MASONRY OPENING N.I.C. NOT IN CONTRACT O.C. ON CENTER O.D. OUTSIDE DIAMETER OPNG OPENING PL PLATE PLUMB PLUMBING PR PAIR PRT PRESSURE TREATED REINF REINFORCED REQ'D REQUIRED SCHED SCHEDULE SHT SHEET SIM. SIMILAR SS STAINLESS STEEL STL STEEL SWC SOLID WOOD CORE TACKBOARD TACKBOARD TEMP TEMPERED TOIL TOILET TRTD TREATED TYP. TYPICAL VCT VINYL COMPOSITION TILE VERT VERTICAL WD WOOD</p> <p>NOTE: FOR ABBREVIATIONS NOT NOTED ABOVE CONTACT ARCHITECT.</p> | <p>JOB SITE Columbia Hall 918 Barnwell St, Columbia SC 29208</p> <p>CONTRACTOR'S OFFICE</p> <p>OWNER University of South Carolina Pete Fisher, Project Manager 803-777-9346 Jim Sherry, Director of Housing 803-777-5719</p> <p>ARCHITECT Jumper Carter Sease Architects, P.A. 803-791-1020</p> <p>MECHANICAL Swygert & Associates, Inc. 803-791-9300</p> <p>ELECTRICAL / FIRE ALARM Sims Group Engineers, Inc. 803-765-1007</p> | <p>T101 TITLE, INDEX & ABBREVIATIONS</p> <p>A101 ELEVATOR PIT & BASEMENT LEVEL MODERNIZATION PLANS A102 1ST FLOOR/2ND-11TH FLOOR MODERNIZATION PLANS A103 ROOF LEVEL/ MACHINE ROOM DEMOLITION & MODERNIZATION PLANS A104 ROOF LEVEL/MACHINE ROOM ACCESS STAIR & ENTRY A105 ROOF LEVEL MACHINE ROOM ROOF ACCESS LADDER & MISC. DETAILS A106 ELEVATOR CAB PLANS AND ELEVATIONS/FINISH AND DOOR SCHEDULES A107 EXISTING CONDITIONS PROJECT PHOTOGRAPHS</p> <p>M101 FLOOR PLANS M201 DETAILS, NOTES, SCHEDULES AND LEGEND</p> <p>E001 ELECTRICAL SYMBOLS, NOTES, & DETAILS E002 ELECTRICAL DEMOLITION PLAN E101 ELECTRICAL PLAN</p> <p>ADD ALTERNATES</p> <p>ADD ALTERNATE #1: REPLACE THE EXISTING PANEL PHDP FEEDER CONDUCTORS IF DEEMED NECESSARY BY THE OWNER AS INDICATED ON THE ELECTRICAL DRAWINGS.</p> | <p>APPLICABLE CODES: 2006 IBC, 2006 IFB, 2006 IMC, 2008 NEC, 2009 ANSI A111, ASME A11.1-2010/CSA B44-10</p> <p>SITE INFORMATION ADDRESS: 918 BARNWELL STREET COLUMBIA, SC 29208</p> <p>BUILDING INFORMATION YEAR BUILT: 1914 OCCUPANCY CLASSIFICATION: R-2 (DORMITORY) NO. OF FLOORS: 11 HIGH RISE BUILDING: YES SPRINKLED: YES</p> <p>CONSTRUCTION TYPE: EXISTING - TYPE IIB (ASSUMED BASED ON EXISTING BUILDING DRAWINGS AND OBSERVATIONS OF THE BUILDING)</p> <p>FIRE RESISTANCE RATING FOR BUILDING ELEMENTS (TABLE 601) STRUCTURAL FRAME 2 HR BEARING WALLS (EXTERIOR) 2 HR BEARING WALLS (INTERIOR) 2 HR NON-BEARING WALLS & PARTITIONS (EXTERIOR) 0 HR NON-BEARING WALLS & PARTITIONS (INTERIOR) 0 HR FLOOR CONSTRUCTION 2 HR ROOF CONSTRUCTION 1 HR SHAFT ENCLOSURE (PER IBC SECTION 101) 2 HR (ASSUMED BASED ON EXISTING BUILDING DRAWINGS AND OBSERVATIONS OF THIS BUILDING)</p> <p>SPECIAL DETAILED REQUIREMENTS BASED ON USE & OCCUPANCY (CHAPTER 4) STANDBY POWER (SECTION 403.10) 403.10.2 STANDBY POWER LOADS SHALL BE PROVIDED FOR ELEVATORS IN ACCORDANCE WITH 1001.4 & 3003. PROVIDED</p> <p>ELEVATORS AND CONVEYING SYSTEMS (CHAPTER 30) HOISTWAY ENCLOSURES (SECTION 3002) 3002.12 NUMBER OF ELEVATOR CARS IN A HOISTWAY: NO MORE THAN FOUR CARS IN A SINGLE HOISTWAY ENCLOSURE. ONLY THREE CARS EXISTING - EXISTING IS COMPLIANT. 3002.3 EMERGENCY SIGNS, PROVIDE APPROVED STANDARD PICTORIAL SIGN ADJACENT TO EACH CALL STATION ON ALL FLOORS STATING "IN FIRE EMERGENCY, DO NOT USE ELEVATOR. USE EXIT STAIRS." PROVIDED 3002.4 ELEVATOR CAR TO ACCOMMODATE AMBULANCE STRETCHER, 24" X 84" IN A HORIZONTAL POSITION. BOTH SIDES OF DOOR FRAME ARE TO RECEIVE THE INTERNATIONAL SYMBOL FOR EMERGENCY MEDICAL SERVICES (STAR OF LIFE) VIA. WILL NOT FIT WITHIN EXISTING SHAFT. SEE CHAPTER 34 REQUIREMENTS BELOW. EMERGENCY OPERATIONS (SECTION 3003) 3003.1 STANDBY POWER IS REQUIRED TO OPERATE THE ELEVATORS IN CASE OF POWER FAILURE. PROVIDED. 3003.14 VENTING: THE MACHINE ROOM VENTILATION OR AIR CONDITIONING IS TO BE CONNECTED TO THE STANDBY POWER SOURCE PROVIDED. 3003.2 FIREFIGHTER'S EMERGENCY OPERATION, PROVIDE EMERGENCY RECALL OPERATIONS PER ASME A11.1 PROVIDED HOISTWAY VENTING (SECTION 3004) - EXISTING IS COMPLIANT 3004.1 VENTS ARE REQUIRED IN HOISTWAYS OF BUILDINGS OVER THREE STORIES. THE EXISTING HOISTWAY IS VENTED AND THE LOCATION OF THE VENTS IS COMPLIANT AT THE TOP OF THE HOISTWAY PER 3004.2. 3004.3 AREA OF VENTS, 3% OF HOISTWAY (641 REQUIRED) OR 341 PER CAB (341 REQUIRED). THE GREATER OF THE TWO. THE EXISTING VENT AREA IS COMPLIANT AT 2161. MACHINE ROOMS (SECTION 3006) 3006.1 ACCESS: AN APPROVED MEANS OF ACCESS SHALL BE PROVIDED TO ELEVATOR MACHINE ROOM AND OVERHEAD MACHINE SPACES. PROVIDED. 3006.2 VENTING: MACHINE ROOM SHALL BE VENTED OR AIR CONDITIONED. PROVIDED 3006.5 SHUNT-TRIP, REQUIRED WHERE HOISTWAYS OR MACHINE ROOMS CONTAINING ELEVATOR CONTROL EQUIPMENT ARE SPRINKLED. PROVIDED.</p> <p>EXISTING STRUCTURES (CHAPTER 34) EXISTING BUILDINGS OR STRUCTURES (SECTION 3403) 3403.1 PORTIONS OF THE STRUCTURE NOT ALTERED AND NOT AFFECTED BY THE ALTERATION ARE NOT REQUIRED TO COMPLY WITH THE CODE REQUIREMENTS FOR A NEW STRUCTURE. COMPLIANCE ALTERNATIVES (SECTION 3404) 3404.2 ALTERATIONS AND REPAIRS: AN EXISTING BUILDING OR PORTION THEREOF, WHICH DOES NOT COMPLY WITH THE REQUIREMENTS OF THIS CODE FOR NEW CONSTRUCTION, SHALL NOT BE ALTERED OR REPAIRED IN SUCH A MANNER THAT RESULTS IN THE BUILDING BEING LESS SAFE OR SANITARY THAN SUCH BUILDING IS CURRENTLY. IF, IN THE ALTERATION OR REPAIR, THE CURRENT LEVEL OF SAFETY OR SANITATION IS TO BE REDUCED, THE PORTION ALTERED OR REPAIRED SHALL CONFORM TO THE REQUIREMENTS OF CHAPTERS 2 THROUGH 12 AND CHAPTERS 14 THROUGH 33.</p> |

REVISIONS:

DRAWN BY: SL
CHECKED BY: KM
COMM NO: 12109
DATE: 11/15/2012
SHEET TITLE:

TITLE
INDEX AND
ABBREVIATIONS

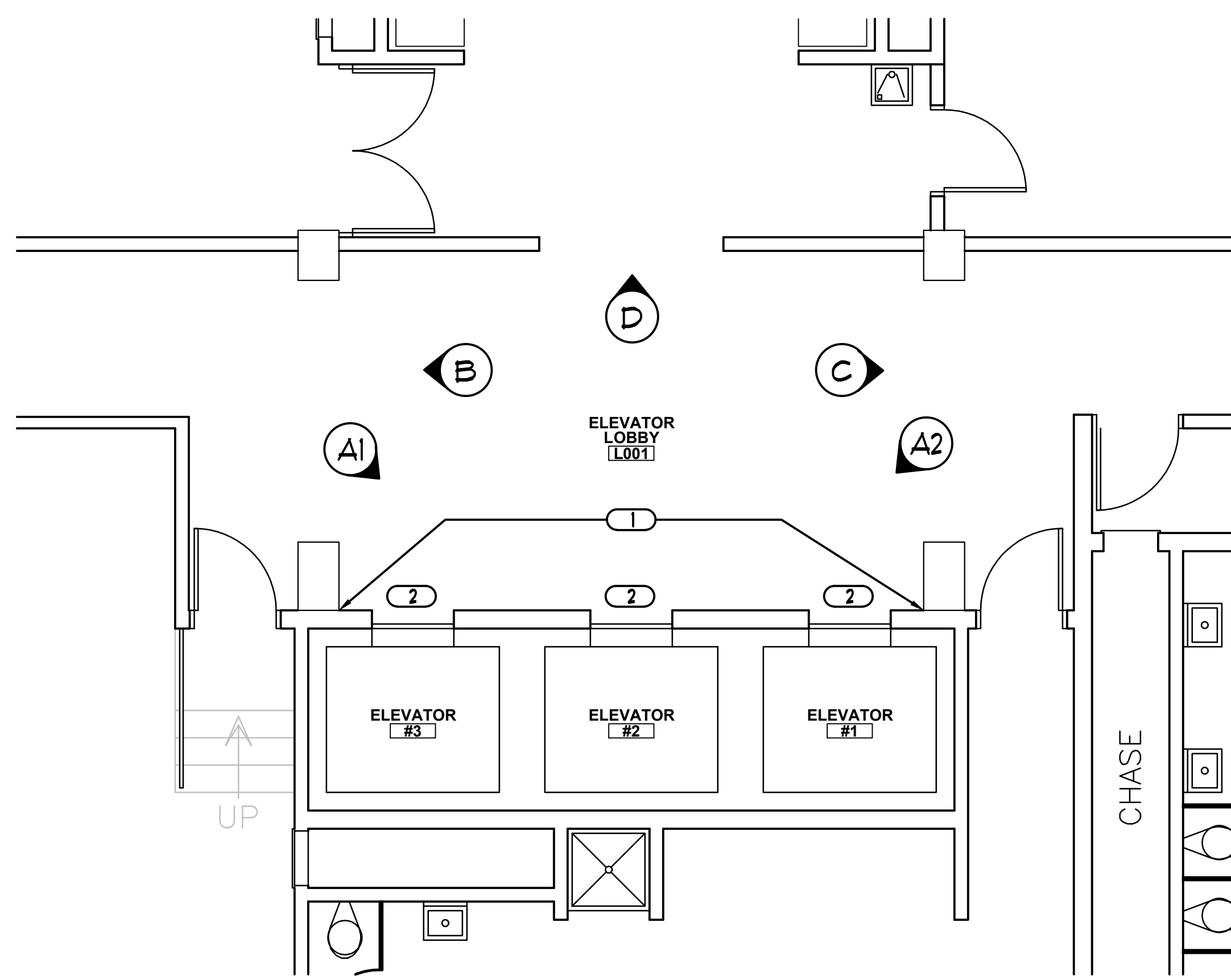
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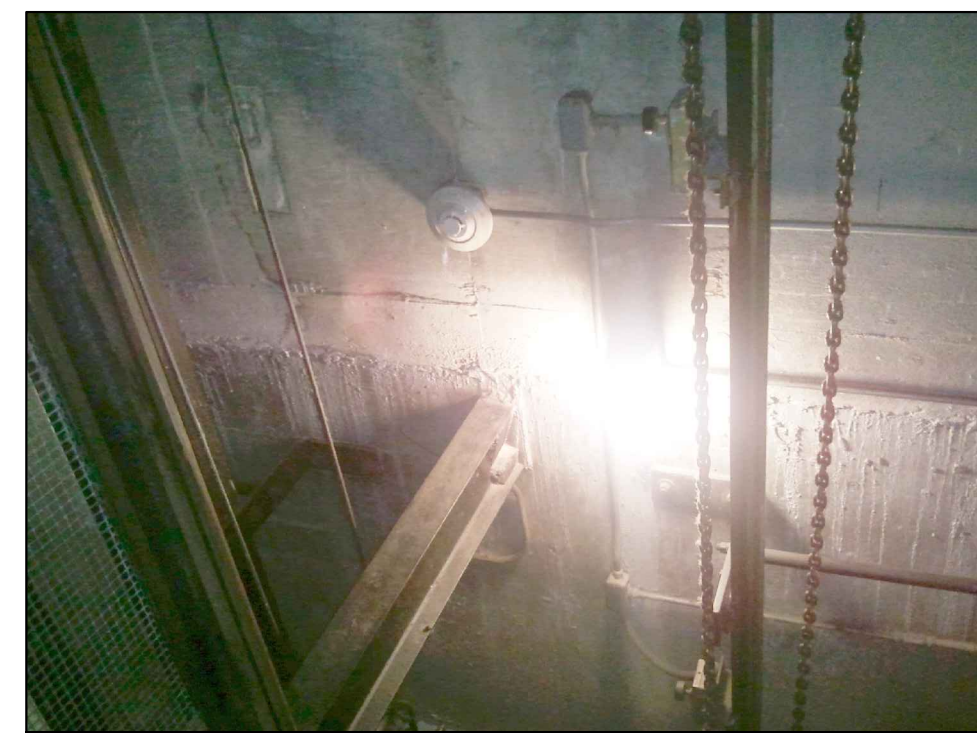
PIT AND HOISTWAY ENCLOSURE NOTES:

1. CONTRACTOR IS TO EXTEND EXISTING PIT LADDER SIDE RAILS FROM 40" TO 48" ABOVE FINISHED FLOOR (TOP OF DIVIDER BEAM)
2. CONTRACTOR IS TO PROVIDE BEVEL CANTS (15° FROM HORIZONTAL) OVER ANY NON OPENING SIDE WALL LEDGES THAT PROJECT 4" OR MORE INTO THE HOISTWAY. THERE IS A 10" LEDGE AT THE TOP FRONT OF THE HOISTWAY AMONG OTHER LOCATIONS THAT REQUIRE CANTING.
3. CONTRACTOR IS TO REMOVE ALL EXISTING CONCRETE REBAR AT THE REAR OF THE HOISTWAY WHICH PROTRUDES INTO THE HOISTWAYS.
4. CONTRACTOR IS TO CUT OFF THE 3/4" BOLTS THAT ARE PROTRUDING OUT 4" INTO THE REAR OF THE HOISTWAY AT THE 11TH FLOOR.
5. REFER TO MECHANICAL AND ELECTRICAL DOCUMENTS ALONG WITH ELEVATOR SPECIFICATIONS FOR ADDITIONAL INFORMATION.

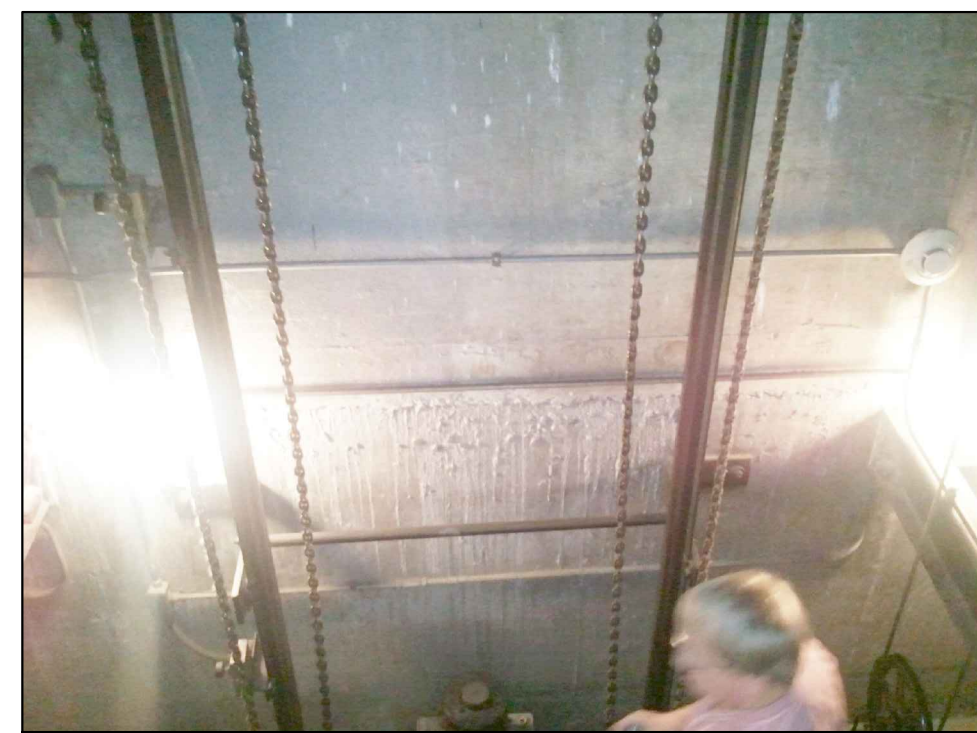
1 ELEVATOR PIT MODERNIZATION PLAN
1/4" = 1'-0"



2 BASEMENT LEVEL MODERNIZATION PLAN
1/4" = 1'-0"



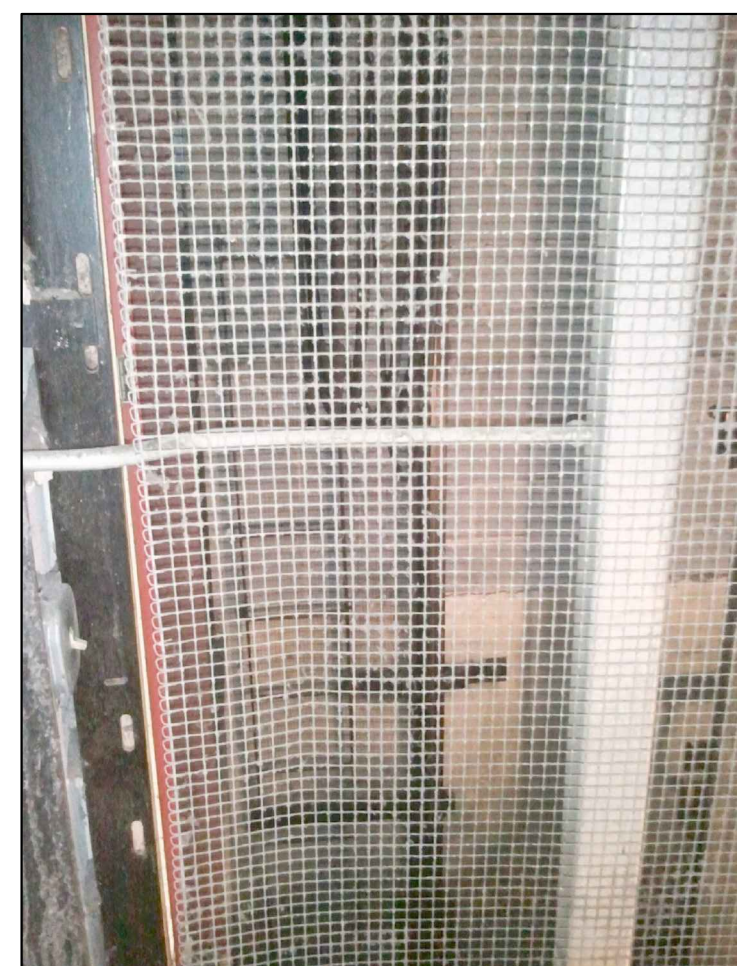
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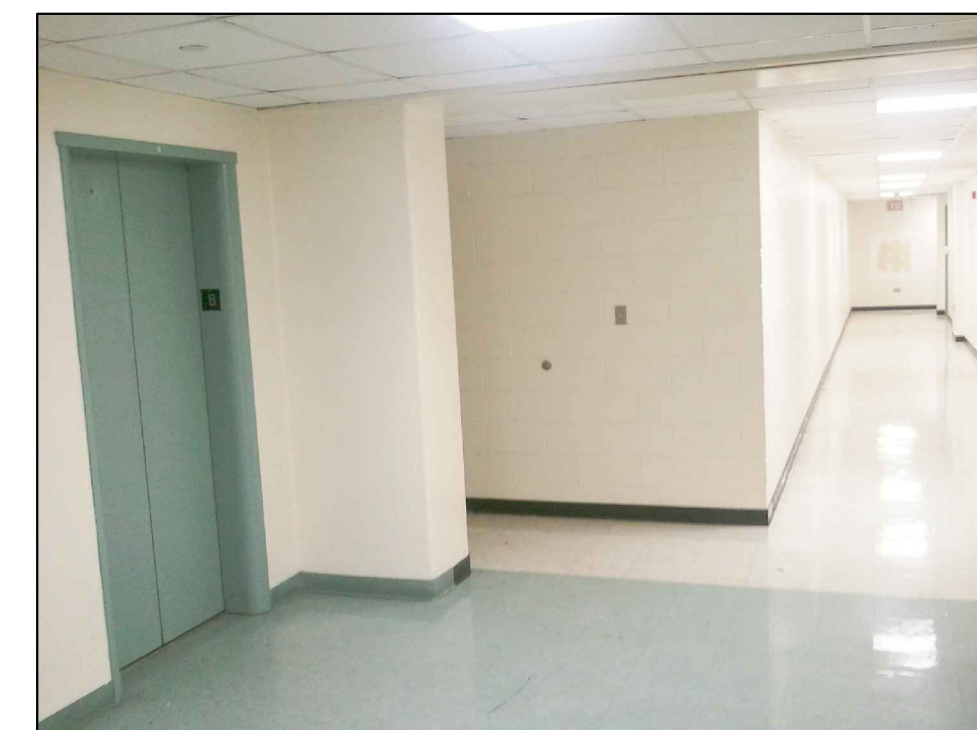
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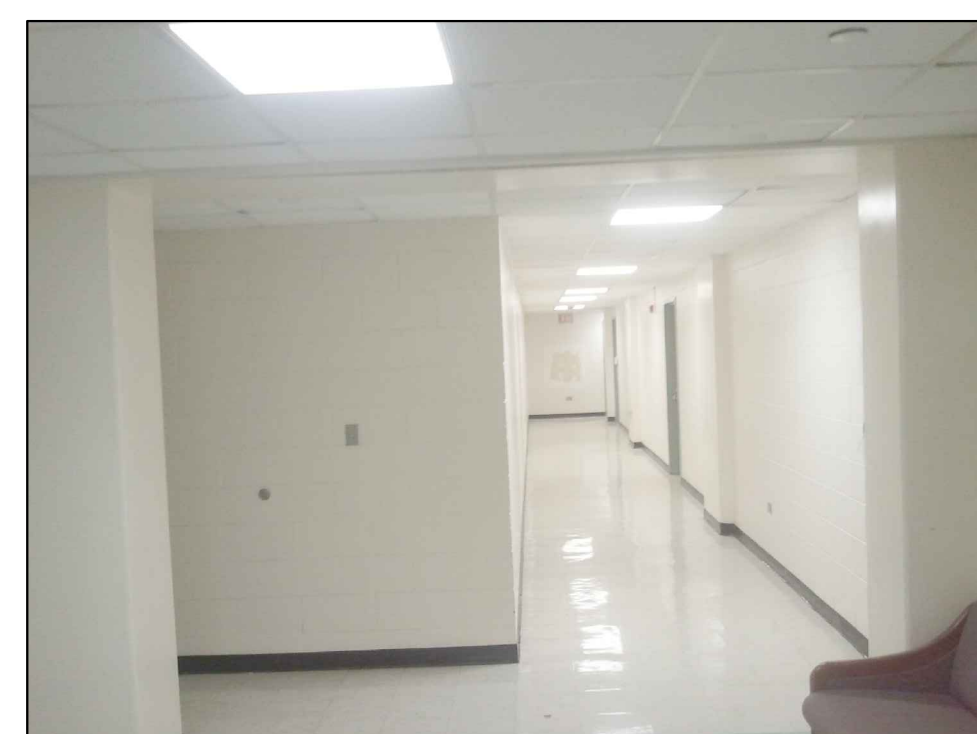
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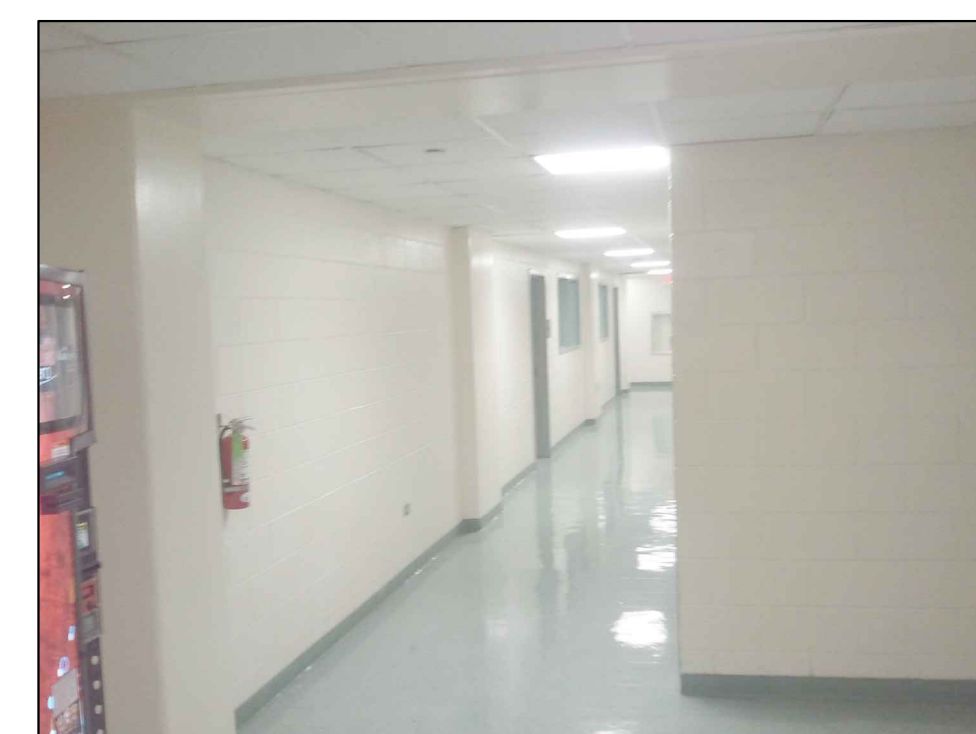
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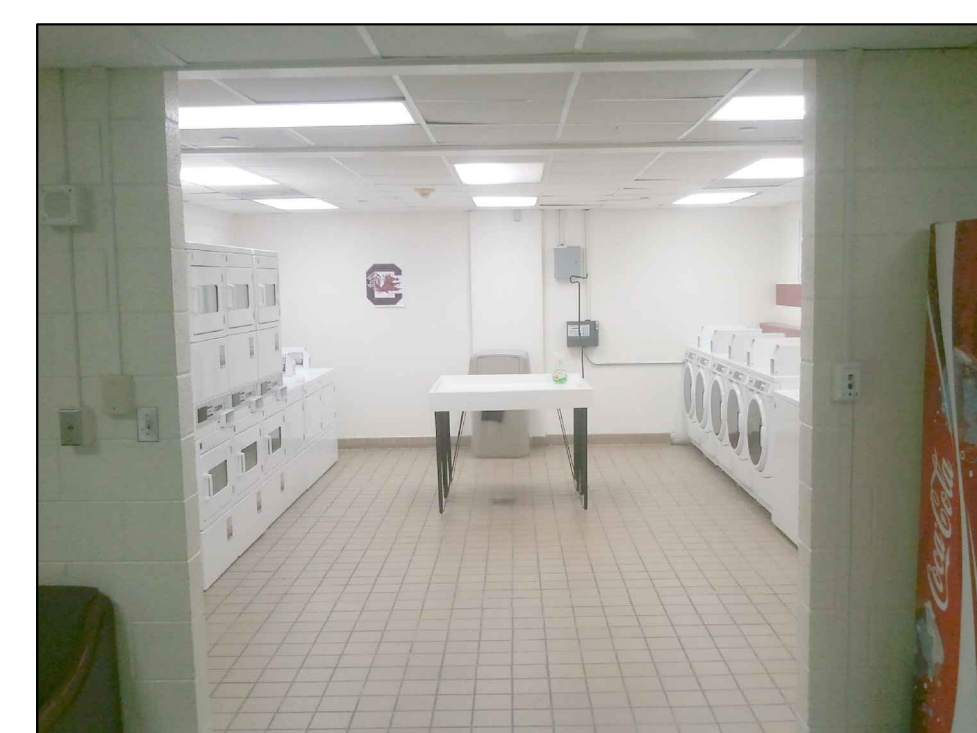
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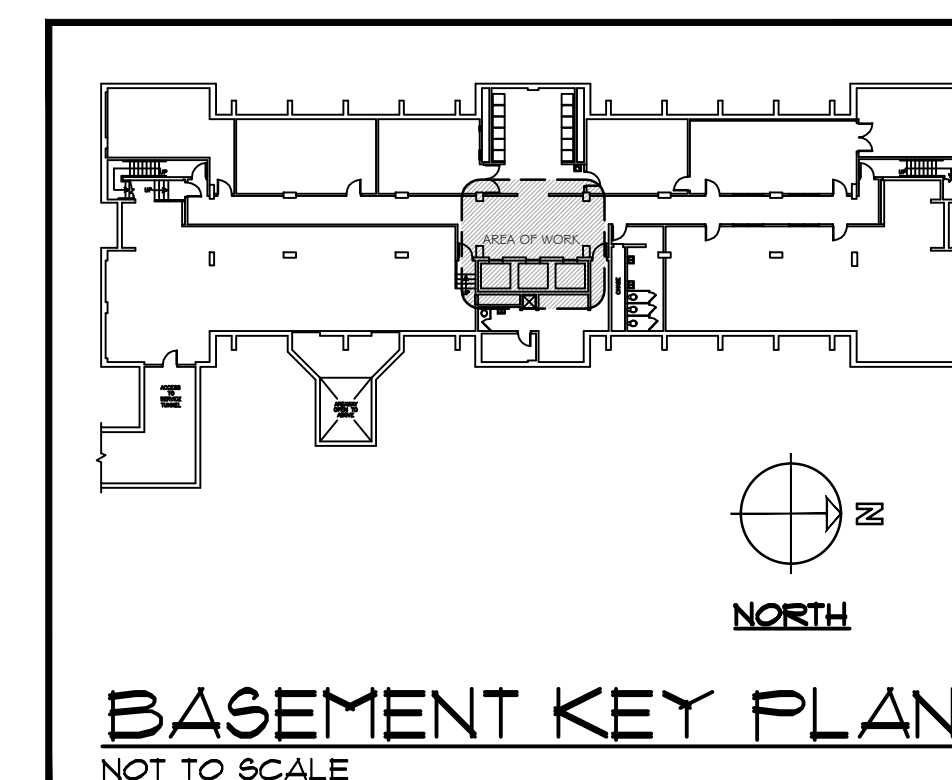
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C



D



BASEMENT KEY PLAN
NOT TO SCALE

SYMBOL LEGEND:

- ROOM # FOR CONSTRUCTION USE ONLY
- PHOTO REFERENCE # (THIS SHEET)

GENERAL NOTES:

1. THIS PROJECT CONSISTS OF MODERNIZING THE EXISTING ORIGINAL ELEVATORS. THE EXISTING GEARED TRACTION ELEVATOR COMPONENTS WILL BE REPLACED WITH GEARLESS TRACTION ELEVATOR COMPONENTS ALONG WITH OTHER RELATED IMPROVEMENTS AS INDICATED WITHIN THE CONTRACT DOCUMENTS.

IT IS IMPORTANT TO NOTE THAT THE LAYOUTS FOR THE PIT, HOISTWAY, ROOF LEVELS AND MACHINE ROOM ARE DIAGRAMMATIC ONLY AND IN NO WAY REPRESENT ACCURATE EXISTING CONDITIONS. ALL AREAS AND CONDITIONS OF THIS WORK ARE TO BE FIELD VERIFIED BY THE CONTRACTOR.

2. THE ONSITE WORK FOR THIS PROJECT IS TO BE PERFORMED DURING THE SUMMER PERIOD OF MAY 13, 2013 UNTIL JULY 29, 2013 WHEN ALL WORK IS TO BE TOTALLY COMPLETE WITHOUT ANY EXCEPTIONS. ALL SUBMITTALS AND PRODUCT LEAD TIMES ARE TO BE SCHEDULED AND COMPLETED IN AS MUCH ADVANCE AS POSSIBLE BEFORE THIS PERIOD AND AFTER THE AWARD OF THE CONTRACT TO ENSURE THAT ALL WORK IS 100% COMPLETE BY JULY 29, 2013. WORK IS TO BE SUBSTANTIALLY COMPLETE BY JULY 15, 2013.

3. BUILDING ACCESS - CONTRACTOR ACCESS TO THE BUILDING AND SITE WILL BE 1 DAY A WEEK/24 HOURS A DAY. ALL CONSTRUCTION PERSONNEL WILL BE REQUIRED TO OBTAIN CARD ACCESS FROM THE OWNER. THIS IS TO BE COORDINATED AND ARRANGED IN A TIMELY MANNER BEFORE CONSTRUCTION STARTS ON MAY 13, 2013.

4. CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND DISPOSAL OF ALL CONSTRUCTION DEBRIS ASSOCIATED WITH THIS WORK. CONTRACTOR IS ALSO RESPONSIBLE FOR PROVIDING DUST CURTAINS AND CLEAN-UP AT AREAS REQUIRING CUTTING OR DRILLING OF EXISTING MASONRY OR CONCRETE. ANY AIR GRILLES WITHIN THESE AREAS MUST ALSO BE COVERED TO PREVENT DUST FROM ENTERING HVAC SYSTEM(S). ALL WORK AREAS ARE TO BE THOROUGHLY CLEANED BY THE CONTRACTOR PRIOR TO COMPLETION OF WORK. DAILY CLEAN-UP IS ALSO REQUIRED.

5. ANY ITEMS/MATERIALS INDICATED TO BE REUSED AND/OR RELOCATED SHALL BE STORED IN A SAFE AND DRY ENVIRONMENT UNTIL REINSTALLATION. CONTRACTOR SHALL THOROUGHLY CLEAN ITEMS/MATERIALS TO BE RELOCATED.

6. CONTRACTOR IS TO TAKE CAUTION NOT TO DAMAGE ANY EXISTING PROPERTY OR CONSTRUCTION. ANY SUCH DAMAGE WILL BE REPAIRED OR REPLACED AT THE OWNER'S DISCRETION WITHOUT ANY ADDITIONAL COST TO THE OWNER.

7. CONTRACTOR IS TO PROTECT OPEN ENTRANCES DURING LANDING DOOR PANEL REMOVING AND PAINTING ACTIVITIES. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE RE-INSTALLATION OF THESE BARRICADES, HANDRAILS AND KICK BOARDS, WHICH MAY BE TEMPORARILY REMOVED IN THE PERFORMANCE OF ELEVATOR WORK ACTIVITIES.

8. CONTRACTOR IS TO PROTECT CABS, ENTRANCES AND SPECIAL METAL FINISHES FROM DAMAGE AFTER INSTALLATION.

9. FOR INTERIOR BUILDING FINISHES - REFER TO FINISH SCHEDULE.

10. ANY PENETRATION THRU FIRE RATED CONSTRUCTION MUST BE SEALED IN ACCORDANCE WITH THE PROPER UL ASSEMBLY DETAIL.

KEY NOTES:

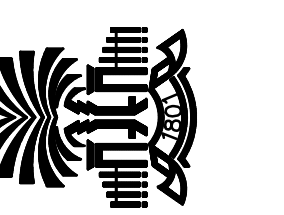
1. REPAINT THIS WALL TO MATCH EXISTING AFTER COMPLETION OF RELATED ELEVATOR WORK. ALL WALL REPAIRS AND PATCHING DUE TO INSTALLATION OF ELEVATOR FIXTURES MUST BE COMPLETED SO THAT THE WALL IS IN A "LIKE NEW" CONDITION AND NO REPAIR OR PATCH WORK IS EVIDENT.
2. EXISTING BULLNOSE ENTRANCE FRAMES AND LANDING DOORS ALONG WITH THEIR SIGHT GUARDS - SAND ALL SURFACES SMOOTH AND REPAIR ANY DENTS TO FLUSH AND SMOOTH CONDITION. PRIME AND SPRAY PAINT THESE COMPONENTS (COLOR AS SCHEDULED). NEW DOOR EDGE ASTRAGALS WILL ALSO BE INSTALLED. (THIS IS TYPICAL FOR ALL OPENINGS ON ALL FLOORS).

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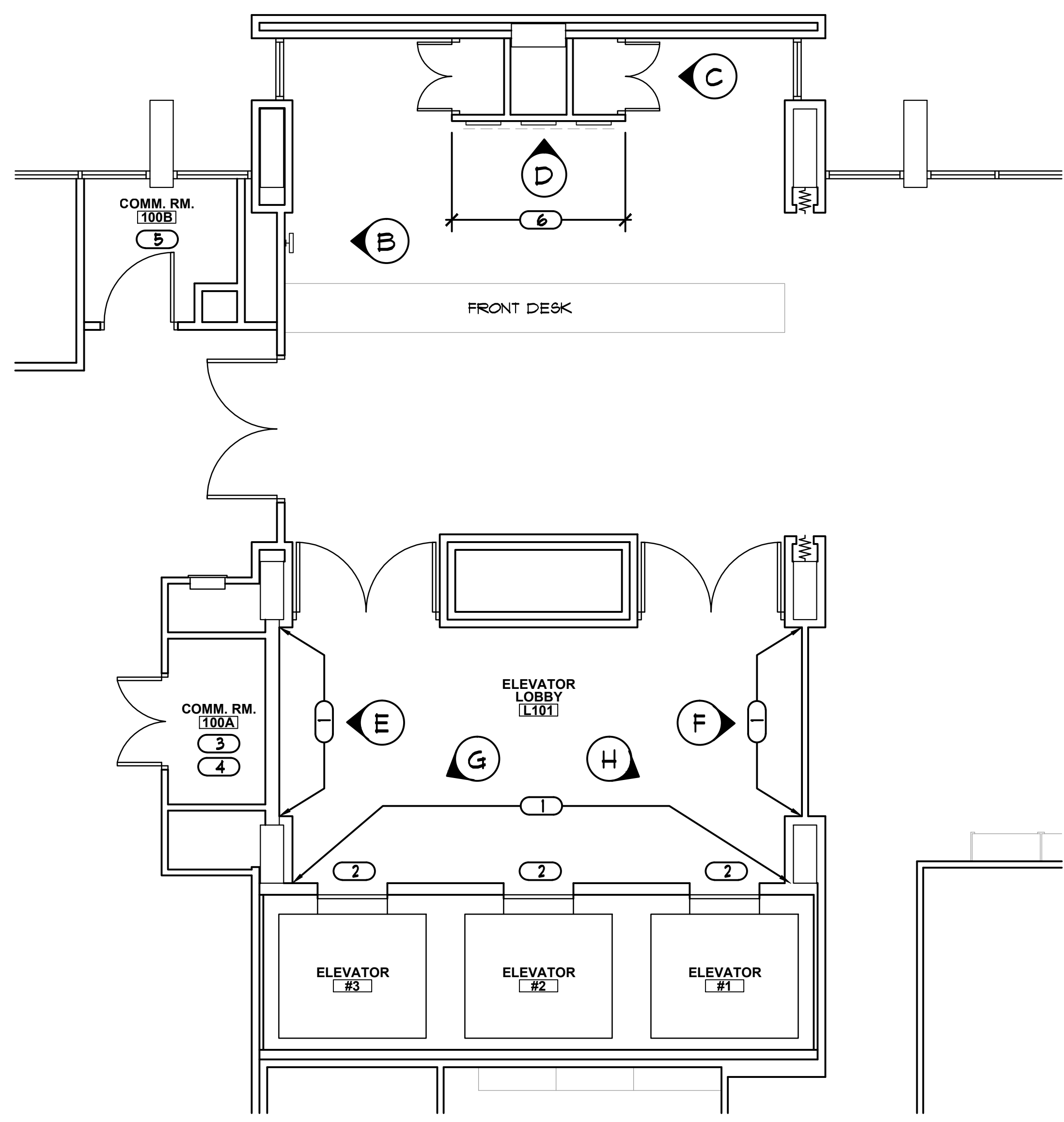


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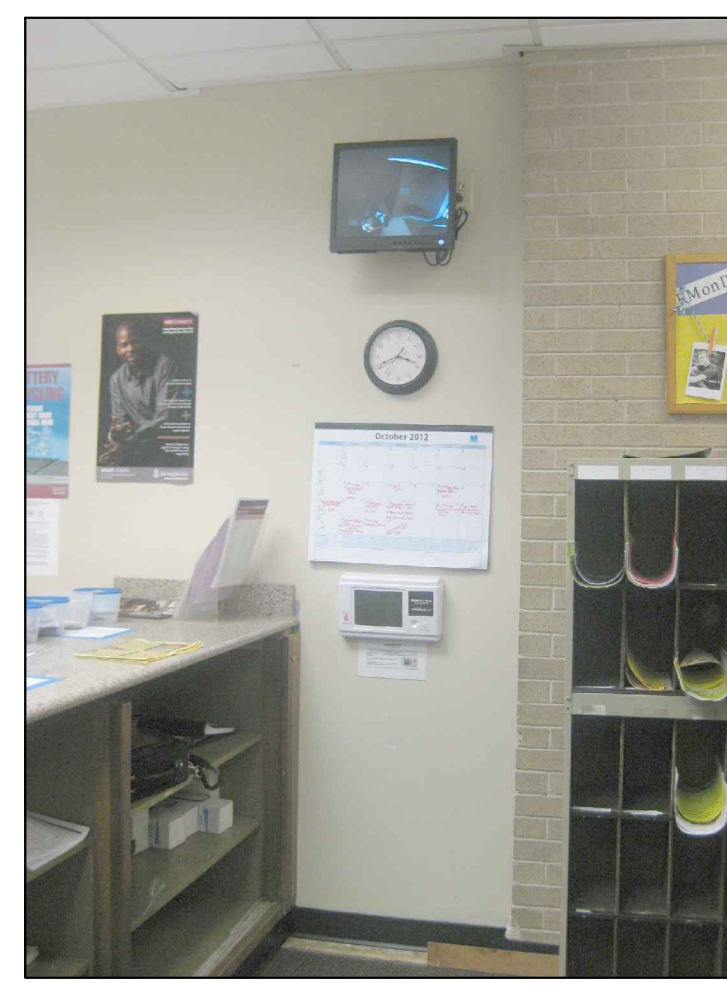
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| DRAWN BY: | SL |
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| SHEET TITLE: | ELEVATOR PIT & BASEMENT LEVEL MODERNIZATION PLANS |

ELEVATOR PIT & BASEMENT LEVEL MODERNIZATION PLANS

SHEET NO. **A101**



(A)



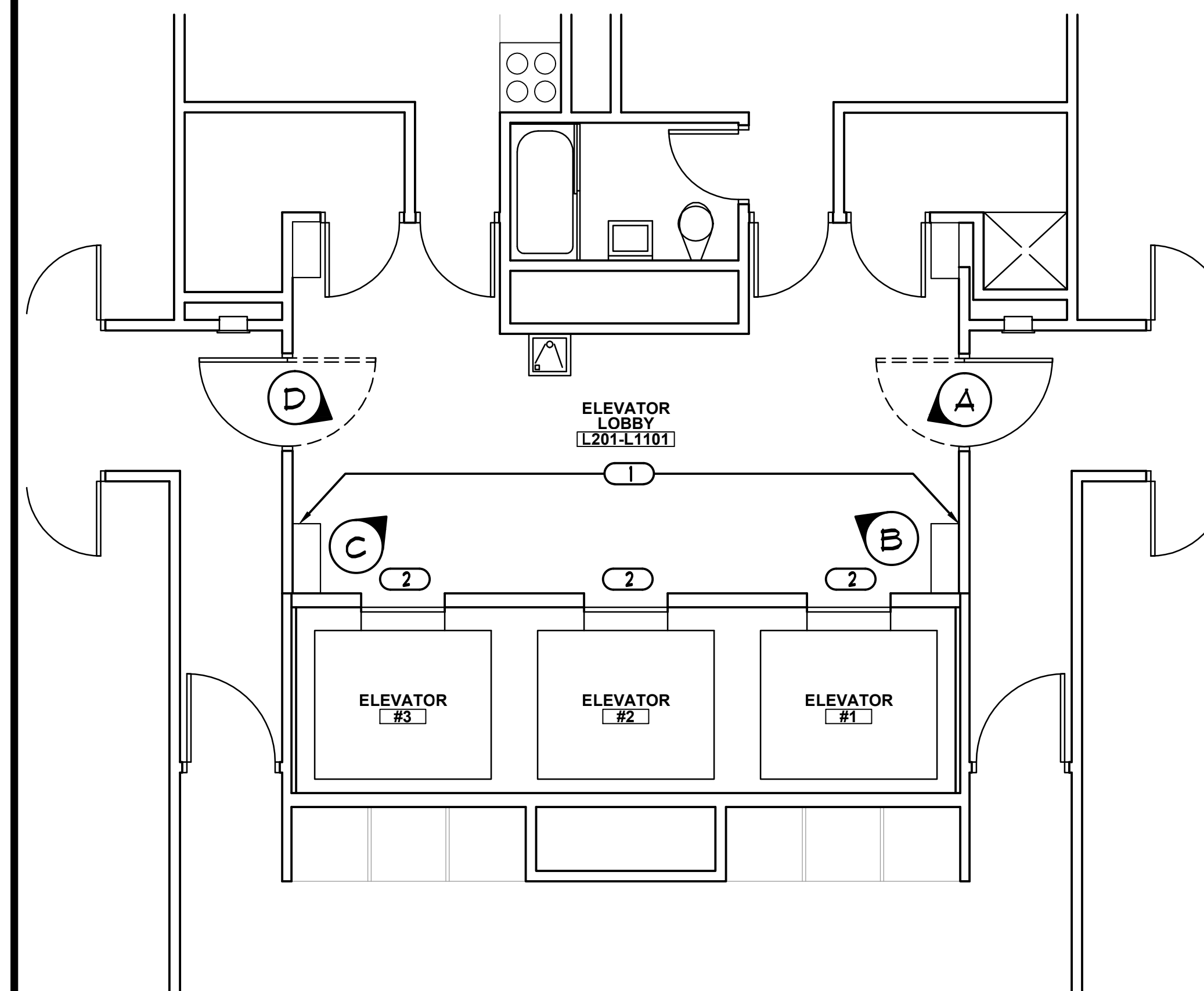
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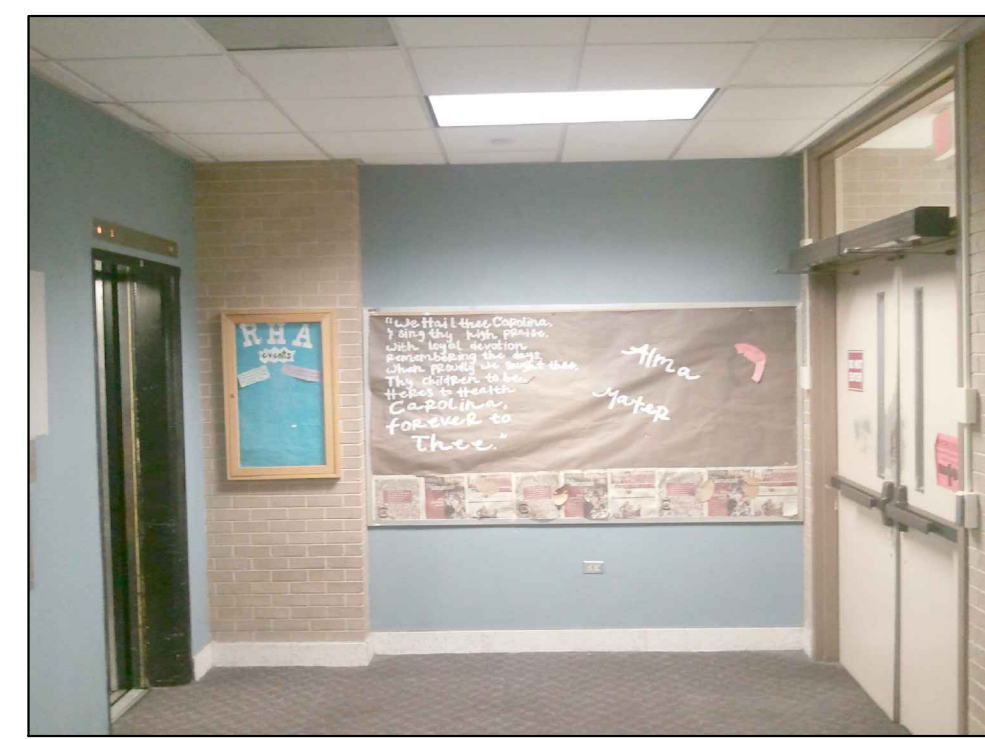
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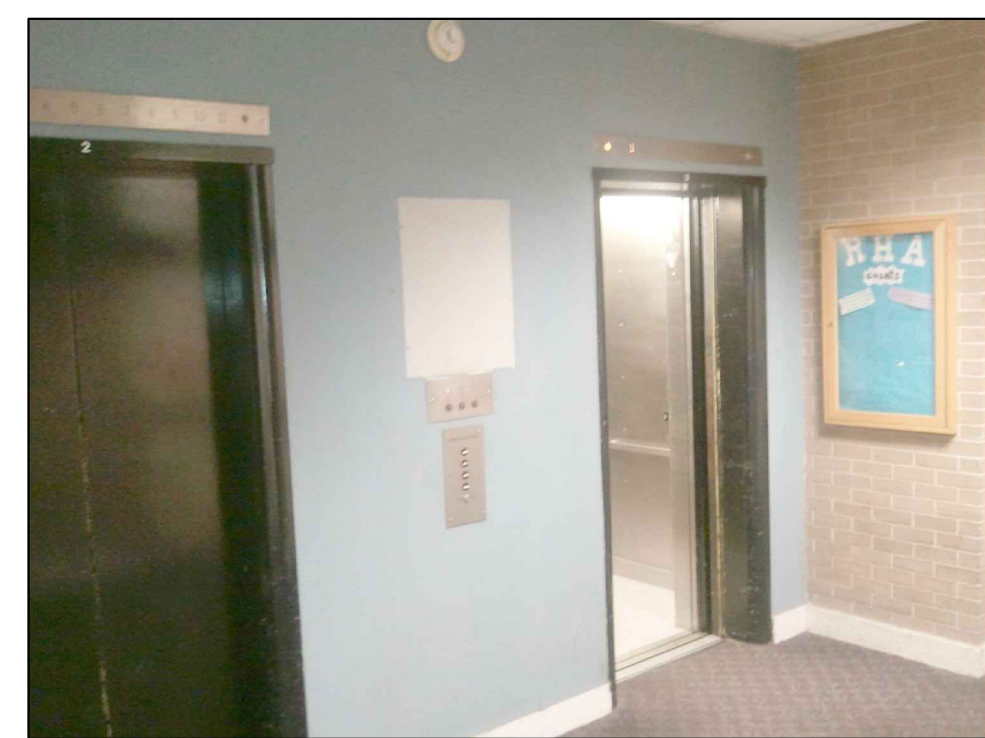
2 2ND THRU 11TH FLOOR MODERNIZATION PLAN
 1/4" = 1'-0" SCALE



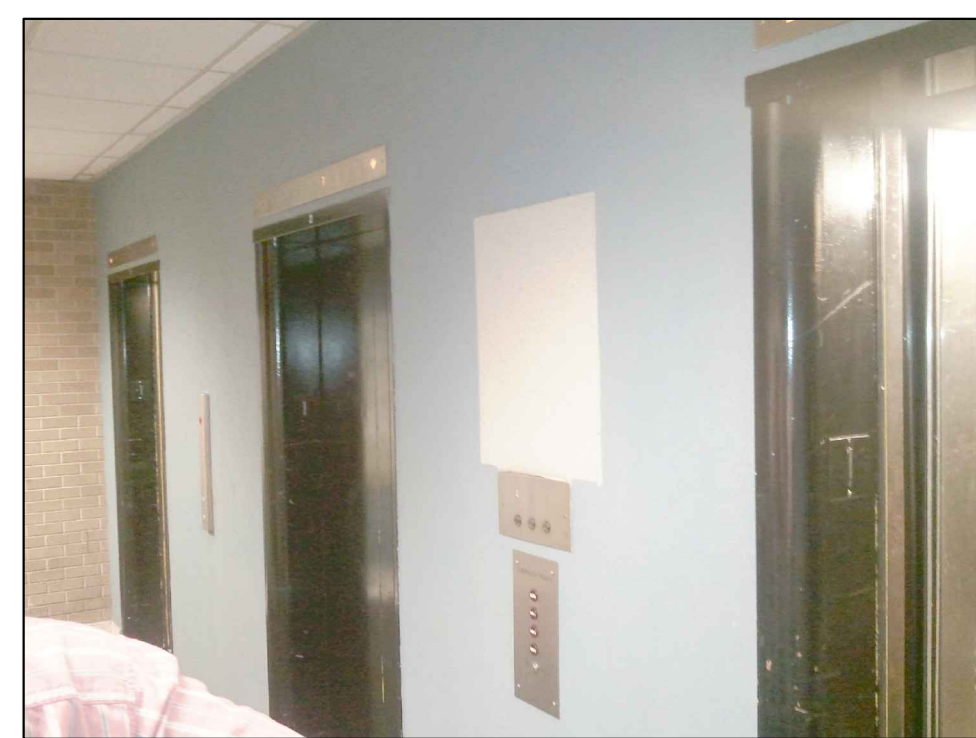
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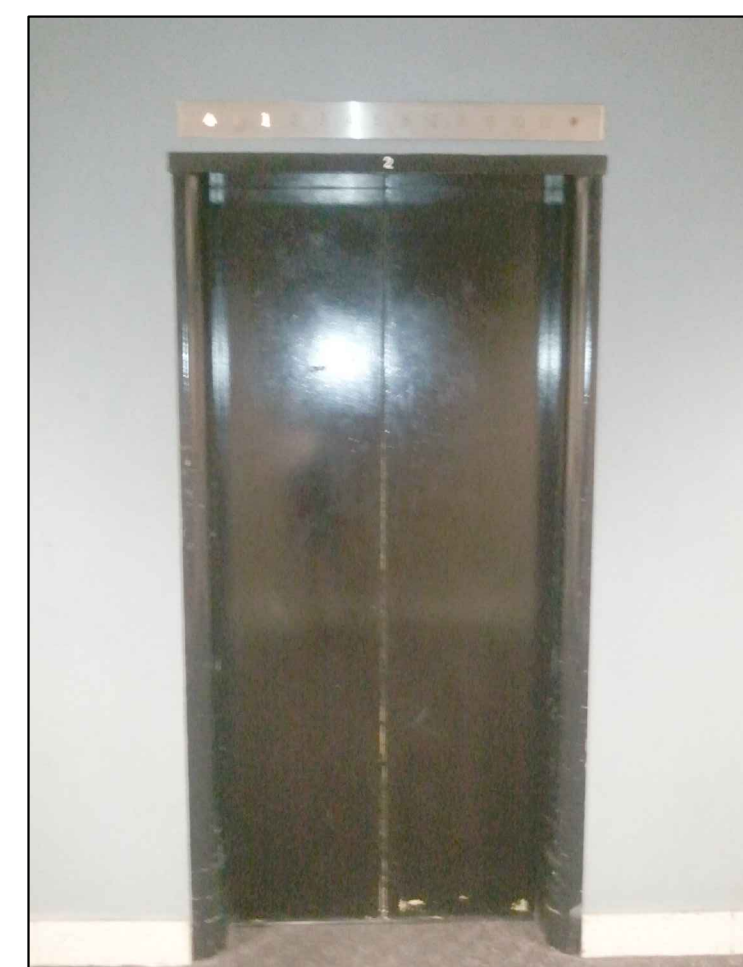
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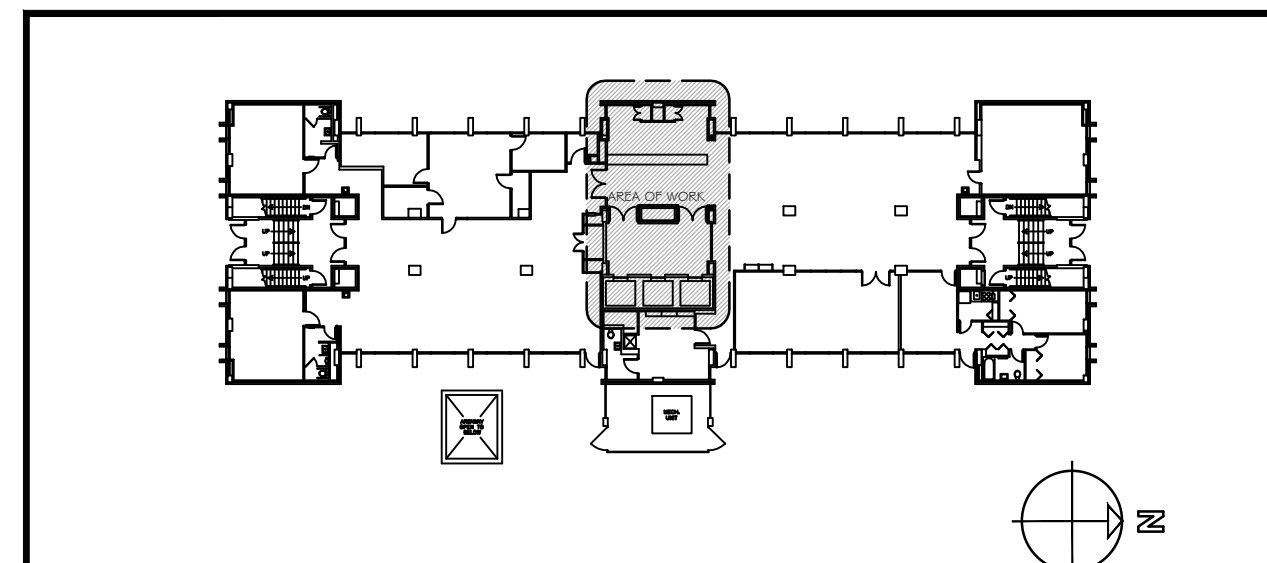
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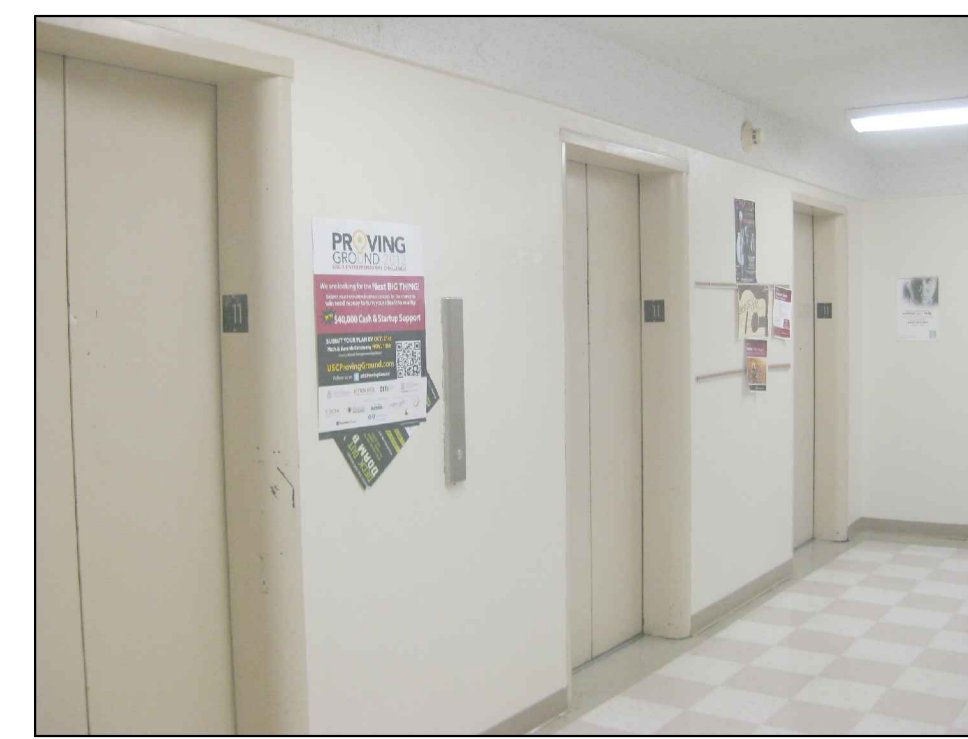
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ENTRANCE FRAME & LANDING DOORS
 (TYP 1ST FLOOR LOBBY)



1ST FLOOR KEY PLAN



(A)



(B)



(C)

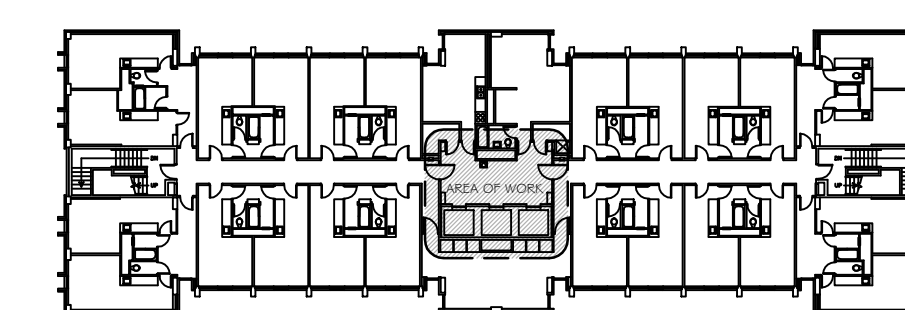


(D)

2ND FLOOR LOBBY (FLOORS 3 THRU 11 SIMILAR)



ENTRANCE FRAME HEAD JAMB (TYPICAL)



2ND THRU 11TH FLOOR KEY PLAN

(6) SEE SPECIFICATION SECTION 140000 "GEARLESS TRACTION ELEVATORS" FOR ELEVATOR FIRE COMMAND CENTER AND INTERFACING WITH EXISTING FAC PANEL(S). REPAIR WALL AS REQUIRED UPON COMPLETION TO MATCH EXISTING.

SYMBOL LEGEND:

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GENERAL NOTES:

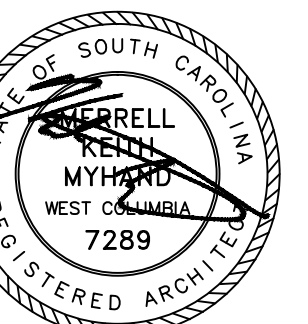
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KEY NOTES:

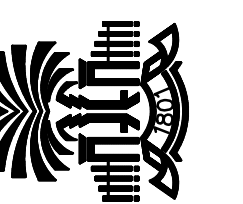
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- EXISTING BULLNOSE ENTRANCE FRAMES AND LANDING DOORS ALONG WITH THEIR SIGHT GUARDS - SAND ALL SURFACES SMOOTH AND REPAIR ANY DENTS TO FLUSH AND SMOOTH CONDITION FRAME AND SPRAY PAINT THESE COMPONENTS (COLOR AS SCHEDULED). (THIS IS TYPICAL FOR ALL OPENINGS ON ALL FLOORS).
- THIS IS THE TERMINATION POINT FOR THE MACHINE ROOM HVAC MONITORING (DATA JACK) LINE(S). CONTRACTOR IS TO FURNISH AND INSTALL ALL DEVICES ALONG WITH CONDUIT AND WIRING. FINAL CONNECTIONS AT COMMUNICATIONS ROOM WILL BE BY THE OWNER (U.T.S.). ACTUAL TERMINATION LOCATION IN THIS ROOM IS TO BE COORDINATED WITH THE OWNER IN ADVANCE OF STARTING THIS WORK. SEE MECHANICAL 4 ELEVATOR DOCUMENTS FOR ADDITIONAL INFORMATION.
- THIS IS THE TERMINATION POINT FOR THE SECURITY CAMERA CABLING. CONTRACTOR IS TO FURNISH AND INSTALL ALL CONDUIT AND WIRING. SECURITY CAMERAS AND EQUIPMENT WILL BE FURNISHED AND INSTALLED BY THE OWNER (U.T.S./D.L.E.S.). ACTUAL TERMINATION LOCATION IN THIS ROOM IS TO BE COORDINATED WITH THE OWNER IN ADVANCE OF STARTING THIS WORK. SEE ELECTRICAL 4 ELEVATOR DOCUMENTS FOR ADDITIONAL INFORMATION.
- THIS IS THE TERMINATION POINT FOR THE CARD READER WIRING. CONTRACTOR IS TO PROVIDE ALL CONDUIT WITH FULL STRING ALONG WITH RELAY DEVICE. READER WIRING, EQUIPMENT INSTALLATION AND FINAL CONNECTIONS WILL BE BY THE OWNER (U.T.S.). ACTUAL TERMINATION LOCATION IN THIS ROOM IS TO BE COORDINATED WITH THE OWNER IN ADVANCE OF STARTING THIS WORK. SEE ELECTRICAL 4 ELEVATOR DOCUMENTS FOR ADDITIONAL INFORMATION.

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 COLUMBIA, SOUTH CAROLINA



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DRAWN BY: SL

CHECKED BY: KM

COMM NO: 12109

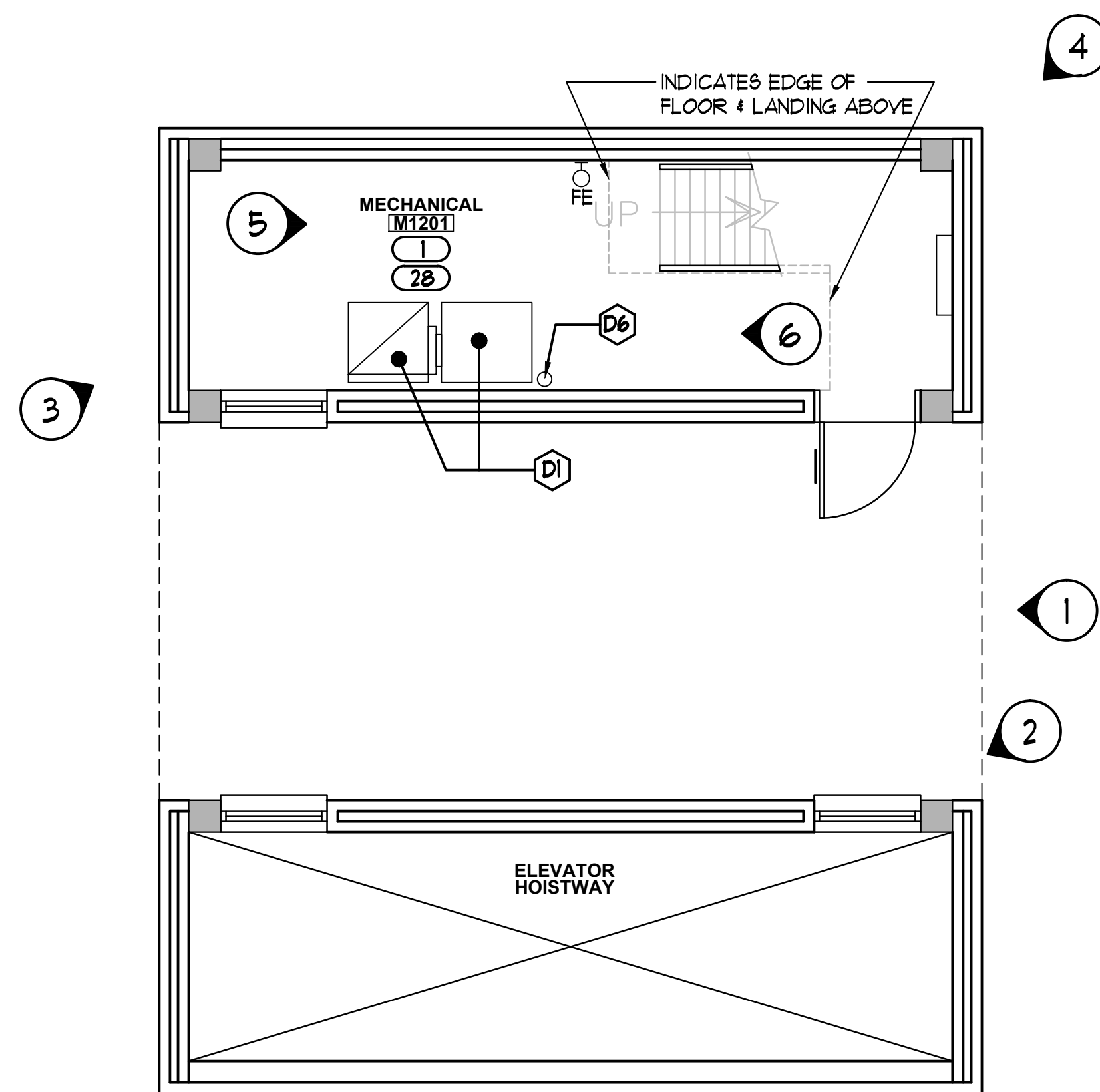
DATE: 11/15/2012

SHEET TITLE:

1ST FLOOR/
 2ND - 11TH FLOOR
 MODERNIZATION
 PLANS

SHEET NO:

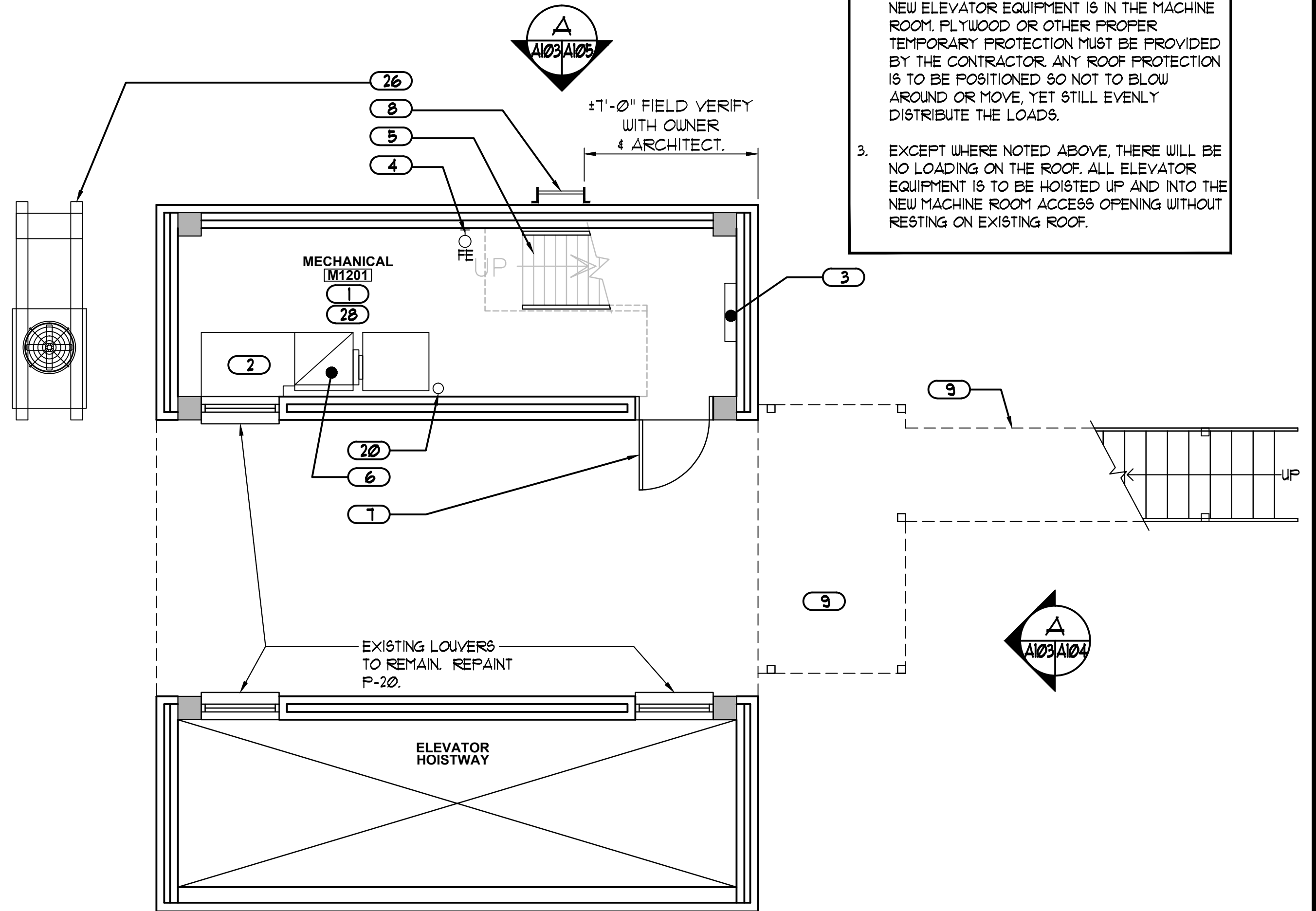
A102



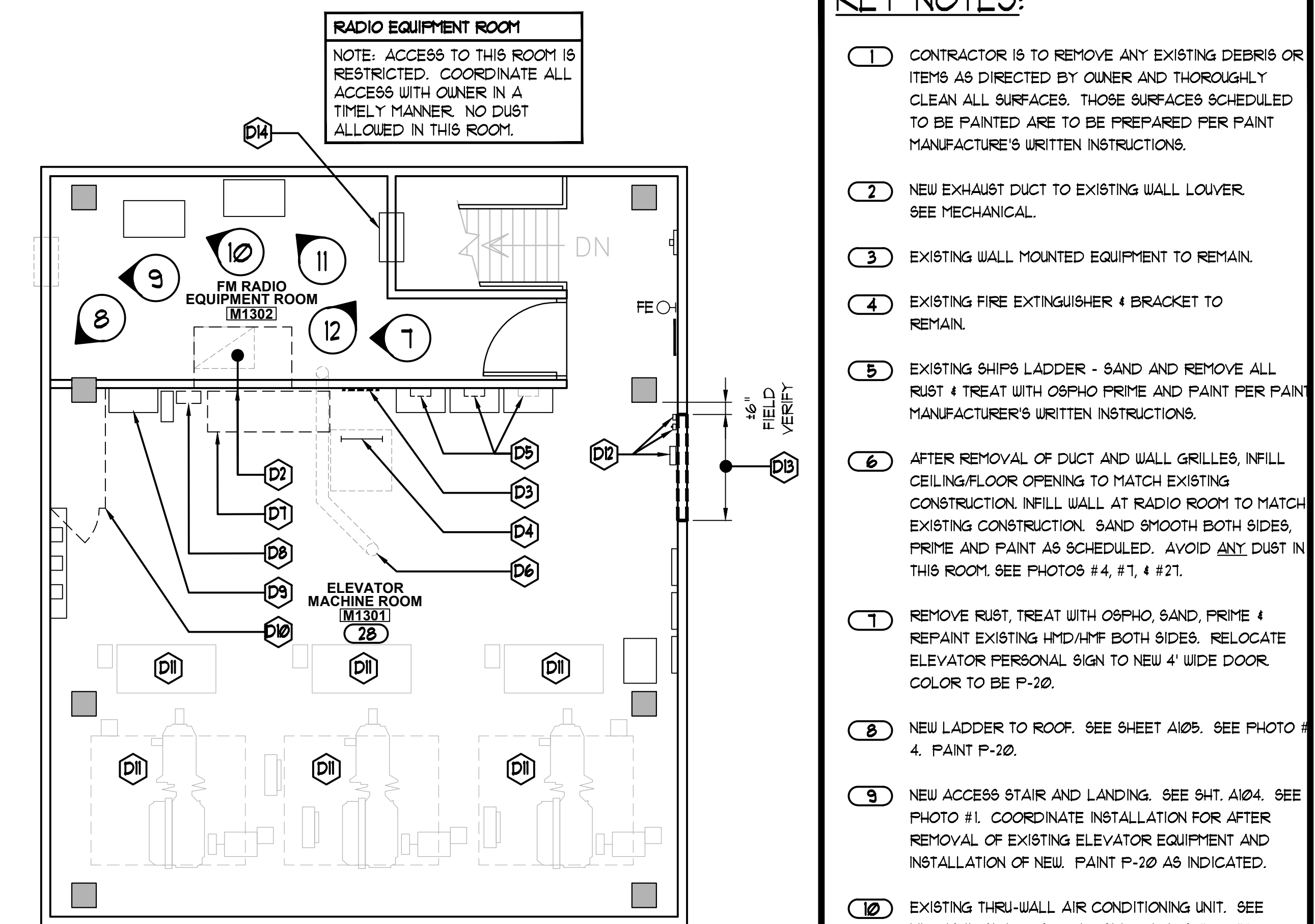
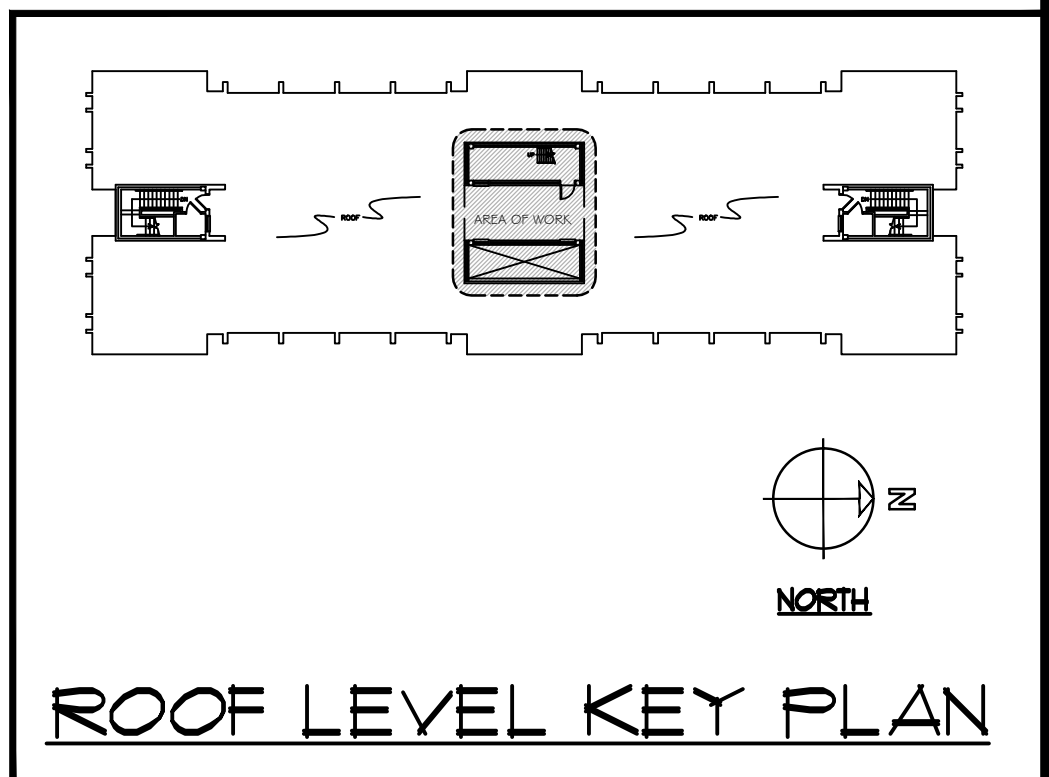
1 ROOF LEVEL DEMOLITION PLAN
 1/4" = 1'-0"
 A103/A109 SCALE

NOTES:

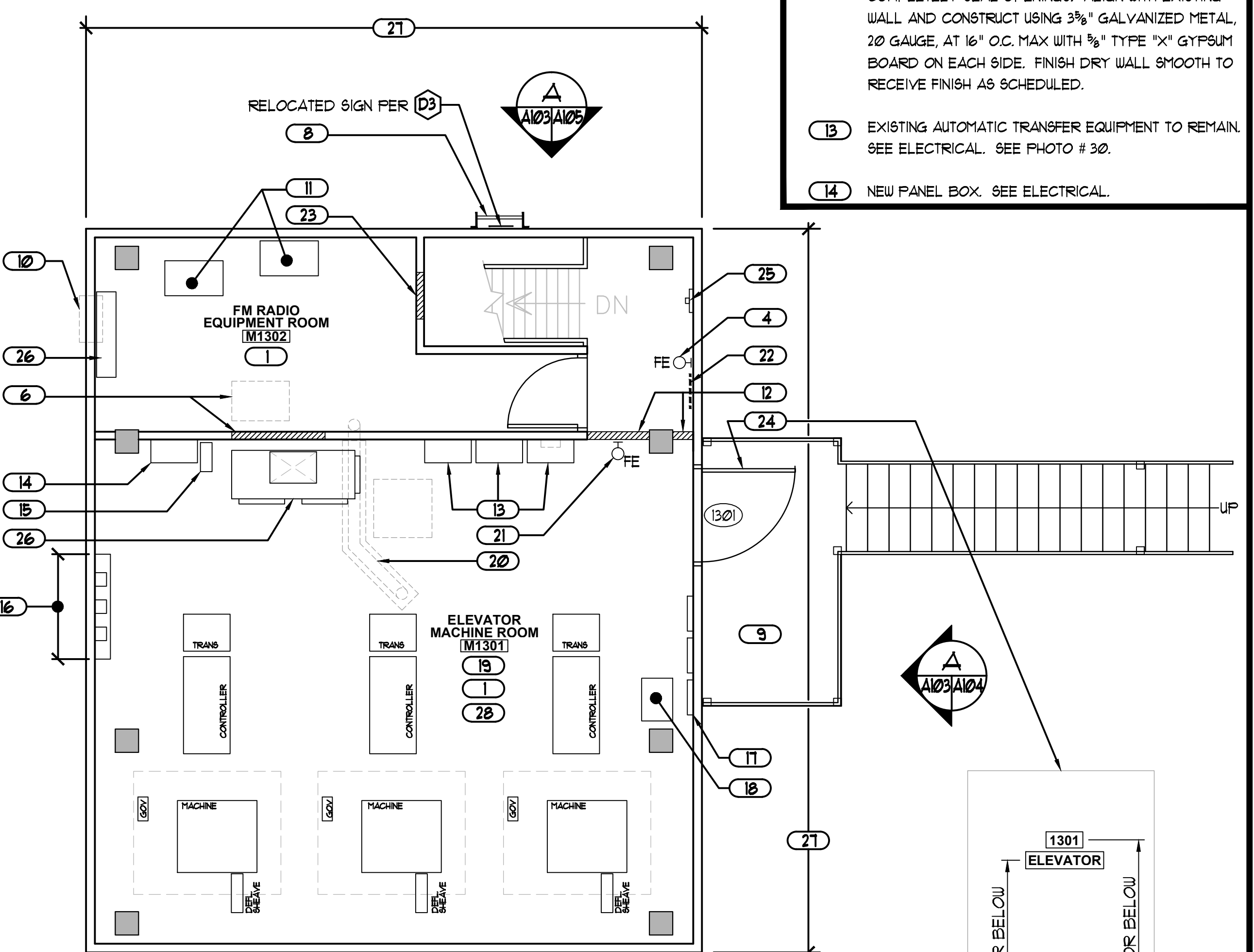
- CONTRACTOR IS TO PROTECT EXISTING ROOF FROM ANY DAMAGE DURING THE COURSE OF THIS PROJECT.
- THERE WILL BE NO STORAGE ALLOWED ON THE ROOF EXCEPT FOR METAL LADDER AND STAIR COMPONENTS THAT WILL NEED CRANE DELIVERY, YET WILL BE INSTALLED AFTER ALL NEW ELEVATOR EQUIPMENT IS IN THE MACHINE ROOM. PLYWOOD OR OTHER PROPER TEMPORARY PROTECTION MUST BE PROVIDED BY THE CONTRACTOR. ANY ROOF PROTECTION IS TO BE POSITIONED SO NOT TO BLOW AROUND OR MOVE, YET STILL EVENLY DISTRIBUTE THE LOADS.
- EXCEPT WHERE NOTED ABOVE, THERE WILL BE NO LOADING ON THE ROOF. ALL ELEVATOR EQUIPMENT IS TO BE HOISTED UP AND INTO THE NEW MACHINE ROOM ACCESS OPENING WITHOUT RESTING ON EXISTING ROOF.



2 ROOF LEVEL MODERNIZATION PLAN
 1/4" = 1'-0"
 A103/A109 SCALE



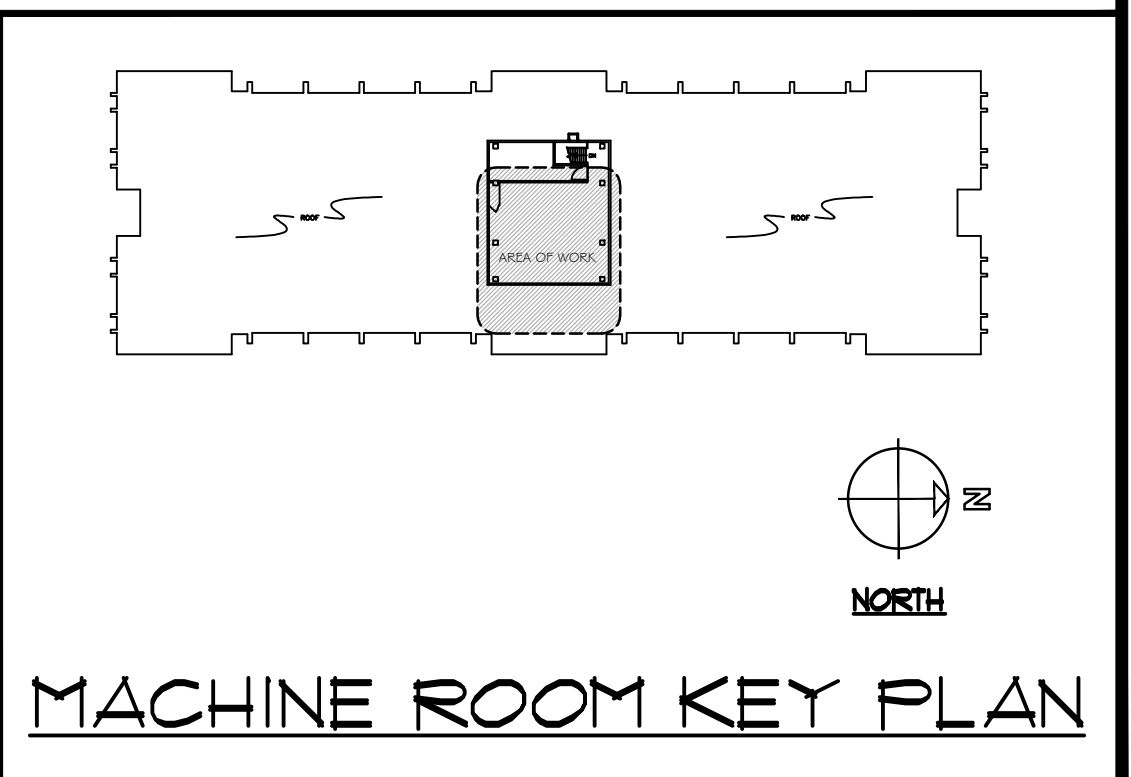
3 MACHINE ROOM DEMOLITION PLAN
 1/4" = 1'-0"
 A103/A109 SCALE



4 MACHINE ROOM MODERNIZATION PLAN
 1/4" = 1'-0"
 A103/A109 SCALE

NOTES:

- THIS NEW EQUIPMENT LAYOUT IS DIAGRAMMATIC FOR PRE-PLANNING INFORMATION ONLY. ACTUAL EQUIPMENT AND LAYOUTS ARE TO BE PROVIDED BY THE ELEVATOR COMPONENTS MANUFACTURER & ELEVATOR CONTRACTOR. ALL INFORMATION IS TO BE COORDINATED WITH THE MANUFACTURER AND CONTRACTOR AS WELL.
- CONTRACTOR IS RESPONSIBLE FOR CONCRETE PATCHING ANY ABANDONED EQUIPMENT PENETRATIONS AT MACHINE ROOM SLAB.
- CUTTING AND PATCHING OF MACHINE ROOM WALLS AND FLOORS MUST BE BY QUALIFIED SKILLED TRADESMEN.
- MACHINE REMOVAL AND REPLACEMENT SHALL BE PERFORMED WITH A CRANE WHEREBY THE OLD MACHINES AND CONTROLLERS SHALL BE REMOVED AND NEW MACHINES AND CONTROLLERS INSTALLED.



KEY NOTES:

- CONTRACTOR IS TO REMOVE ANY EXISTING DEBRIS OR ITEMS AS DIRECTED BY OWNER AND THOROUGHLY CLEAN ALL SURFACES. THOSE SURFACES SCHEDULED TO BE PAINTED ARE TO BE PREPARED PER PAINT MANUFACTURER'S WRITTEN INSTRUCTIONS.
- NEW EXHAUST DUCT TO EXISTING WALL LOUVER. SEE MECHANICAL.
- EXISTING WALL MOUNTED EQUIPMENT TO REMAIN.
- EXISTING FIRE EXTINGUISHER & BRACKET TO REMAIN.
- EXISTING SHIP'S LADDER - SAND AND REMOVE ALL RUST & TREAT WITH OSPO. PRIME AND PAINT PER PAINT MANUFACTURER'S WRITTEN INSTRUCTIONS.
- AFTER REMOVAL OF DUCT AND WALL GRILLES, INFILL CEILING/FLOOR OPENING TO MATCH EXISTING CONSTRUCTION. INFILL WALL AT RADIO ROOM TO MATCH EXISTING CONSTRUCTION. SAND SMOOTH BOTH SIDES, PRIME AND PAINT AS SCHEDULED. AVOID ANY DUST IN THIS ROOM. SEE PHOTOS # 4, # 1, & # 21.
- REMOVE RUST, TREAT WITH OSPO, SAND, PRIME & REPAINT EXISTING HMD/HMF BOTH SIDES. RELOCATE ELEVATOR PERSONAL SIGN TO NEW 4' WIDE DOOR. COLOR TO BE P-20.
- NEW LADDER TO ROOF. SEE SHEET A105. SEE PHOTO # 4. PAINT P-20.
- NEW ACCESS STAIR AND LANDING. SEE SHT. A104. SEE PHOTO # 1. COORDINATE INSTALLATION FOR AFTER REMOVAL OF EXISTING ELEVATOR EQUIPMENT AND INSTALLATION OF NEW. PAINT P-20 AS INDICATED.
- EXISTING THRU-WALL AIR CONDITIONING UNIT. SEE MECHANICAL FOR SCOPE. SEE PHOTOS # 9 & # 2. PROVIDE FLASHING AND SEAL OPENINGS AT UNIT PERIMETER FOR A WEATHER TIGHT CONDITION. FLASHING AND SEALANT SHALL BE DARK BRONZE IN COLOR.
- RADIO EQUIPMENT. PROTECT FROM DUST AND DO NOT TOUCH! SEE PHOTOS # 10 & # 11.
- EXTEND EXISTING WALL FROM SLAB TO BEAM TO COMPLETELY SEAL OPENINGS. ALIGN WITH EXISTING WALL AND CONSTRUCT USING 3/8" GALVANIZED METAL, 20 GAUGE, AT 16" O.C. MAX WITH 1/2" TYPE "X" GYPSUM BOARD ON EACH SIDE. FINISH DRY WALL SMOOTH TO RECEIVE FINISH AS SCHEDULED.
- EXISTING AUTOMATIC TRANSFER EQUIPMENT TO REMAIN. SEE ELECTRICAL. SEE PHOTO # 30.
- NEW PANEL BOX. SEE ELECTRICAL.

KEY NOTES (CONT):

- EXISTING FULL BOX ABOVE. SEE ELECTRICAL. SEE PHOTO # 26 & # 27.
- EXISTING ELEVATOR COMPONENT DISCONNECT SWITCHES. SEE ELECTRICAL. SEE PHOTO # 25.
- EXISTING ELEVATOR CONTROL BOXES (3) TO REMAIN. REROUTE CONDUIT AT NEW DOOR OPENING. SEE ELECTRICAL. SEE PHOTOS # 11 & # 18.
- EXISTING ELEVATOR STORAGE CABINET. PROTECT AND REPOSITION WITHIN ROOM AS DIRECTED. SEE PHOTO # 18.
- REMOVE EXISTING INSULATION FROM CEILING ABOVE. CLEAN CONCRETE SURFACE COMPLETELY AND PREPARE PER PAINT MANUFACTURER'S WRITTEN INSTRUCTIONS PRIOR TO PRIMING AND PAINTING.
- REPLACE PIPE INSTALLATION PER MECHANICAL DRAWINGS AND PROVIDE PRE-FINISHED ALUMINUM DRIP PAN. SEE SHEET A105 FOR DETAILS. SEE MECHANICAL DRAWINGS ALSO. SEE PHOTO # 24.
- PROVIDE NEW 10LB. ABC FIRE EXTINGUISHER & NO. 846 WALL BRACKET. TYPE MP-10 BY LARSEN'S MANUFACTURING COMPANY, JL INDUSTRIES, OR APPROVED EQUAL.
- EXISTING SIGN TO REMAIN.
- INFILL WALL OPENING TO MATCH EXISTING CONSTRUCTION. SAND SMOOTH BOTH SIDES, PRIME & PAINT AS SCHEDULED.
- PROVIDE UNFRAMED CAST ALUMINUM SIGNS AS MANUFACTURED BY SUPERBINE. LETTERS TO BE SATIN ALUMINUM. BACKGROUND COLOR BLACK. MATCH STYLE ON MECHANICAL ROOM BELOW.
- EXISTING FIRE ALARM PULL STATION. SEE ELECTRICAL FOR SCOPE. EXISTING RED DANGER SIGN TO BE MOUNTED ON WALL ABOVE. SEE PHOTO # 5.
- NEW AIR HANDLER UNITS, CONDENSING EQUIPMENT & ASSOCIATED WORK. SEE MECHANICAL. ROOF WORK BY ROOFING CONTRACTOR PER DETAIL ON M201.
- RE-PAINT EXISTING STUCCO WALL PLANE.
- THE CONTRACTOR IS TO INCLUDE IN HIS BID 200 SQUARE FEET OF DRYWALL REPLACEMENT (MECHANICAL ROOM M1201, ELEVATOR MACHINE ROOM M1301, RADIO EQUIPMENT ROOM M1302).
- REPLACEMENT WILL TAKE PLACE AFTER COORDINATION OF DEMOLITION EFFORTS WITH OWNER'S ABATEMENT CONTRACTOR. REFER TO SPECIFICATION SECTION 01010-A "SPECIAL CONDITIONS" AND SECTIONS 022600A "HAZARDOUS MATERIAL ASSESSMENT SUMMARY", 022600B "HAZARDOUS MATERIAL ASSESSMENT", & 022600C "ASBESTOS ABATEMENT PROCEDURES" FOR ADDITIONAL INFORMATION. ALL DRYWALL SURFACES TO BE REPAINTED.

DEMOLITION NOTES:

- EXISTING EXHAUST FAN IS TO REMAIN. SEE MECHANICAL FOR REMOVAL OF DUCT AND PROVIDING NEW DUCT TO ADJACENT WALL VENT/LOUVER.
- REMOVE EXISTING DUCT AND WALL GRILLES. SEE PHOTOS # 1 & # 21.
- REMOVE EXISTING ROOF TOP ACCESS SIGN AND RELOCATE TO BRICK WALL BEHIND NEW LADDER TO ROOF. SEE PHOTO # 28.
- REMOVE EXISTING LADDER TO ROOF. GRIND CONNECTIONS AT ROOF AND FLOOR SLABS FLUSH. WELD EXISTING ROOF HATCH CLOSED AND REMOVE LATCH. PROVIDE PERMANENT SIGN AT UNDER SIDE OF HATCH STATING "ROOF ACCESS. USE LADDER TO ROOF ON OUTSIDE OF BUILDING." SEE PHOTO # 24.
- EXISTING SHUNT TRIPS BELOW TO BE REMOVED. SEE ELECTRICAL. SEE PHOTO # 30.
- ROOF DRAIN AND RAIN LEADER. REPLACE INSULATION AT MACHINE ROOM, RADIO ROOM AND MECHANICAL ROOM BELOW. SEE MECHANICAL. SEE PHOTO # 24.
- RELOCATE COMPRESSION TANK AS INDICATED ON MECHANICAL. SEE PHOTO # 24.
- REMOVE RADIO EQUIPMENT ELECTRICAL PANEL FROM THIS SPACE. SEE ELECTRICAL. SEE PHOTO # 27.
- REMOVE EXISTING ELECTRICAL PANEL AND PROVIDE NEW PANEL AS INDICATED ON ELECTRICAL. SEE PHOTO # 27.
- REMOVE FENCE ENCLOSURE. SEE PHOTO # 24.
- REMOVE EXISTING ELEVATOR EQUIPMENT AND RELATED COMPONENTS AS REQUIRED TO ALLOW FOR ELEVATOR MODERNIZATION WORK AS SPECIFIED. SEE PHOTOS # 19-23.
- RELOCATE EXISTING FIRE ALARM PANEL, HORN/STROBE DEVICE AND EMERGENCY PHONE ALONG WITH ASSOCIATED CONDUIT & WIRING AS INDICATED ON ELECTRICAL TO ALLOW FOR NEW DOOR WAY. SEE PHOTO # 11.
- REMOVE EXISTING WALL CONSTRUCTION AS REQUIRED TO INSTALL NEW DOOR WAY AND LANDING. ALL CONDUIT AND OTHER ITEMS CROSSING OR OCCUPYING THIS WALL SPACE IS TO BE RELOCATED OR REROUTED SEE ELECTRICAL FOR ADDITIONAL INFORMATION. SEE PHOTO # 11.
- REMOVE EXISTING AIR CONDITIONING UNIT. SEE MECHANICAL. SEE PHOTOS # 12 & # 14.

SYMBOL LEGEND:

ROOM # FOR CONSTRUCTION USE ONLY

PHOTO REFERENCE # (SEE SHEET A107)

GENERAL NOTES:

- THIS PROJECT CONSISTS OF MODERNIZING THE EXISTING ORIGINAL ELEVATORS. THE EXISTING GEARED TRACTION ELEVATOR COMPONENTS WILL BE REPLACED WITH GEARLESS TRACTION ELEVATOR COMPONENTS ALONG WITH OTHER RELATED IMPROVEMENTS AS INDICATED WITHIN THE CONTRACT DOCUMENTS.
- IT IS IMPORTANT TO NOTE THAT THE LAYOUTS FOR THE PIT, HOISTWAY, ROOF LEVELS AND MACHINE ROOM ALONG WITH EQUIPMENT & OTHER ITEMS IN THE SPACES ARE DIAGRAMMATIC ONLY AND IN NO WAY REPRESENT ACCURATE EXISTING CONDITIONS. ALL AREAS AND CONDITIONS OF THIS WORK ARE TO BE FIELD VERIFIED.
- THE ON-SITE WORK FOR THIS PROJECT IS TO BE PERFORMED DURING THE SUMMER PERIOD OF MAY 13, 2013 UNTIL JULY 29, 2013 WHEN ALL WORK IS TO BE TOTALLY COMPLETE WITHOUT ANY EXCEPTIONS. ALL SUBMITTALS AND PRODUCT LEAD TIMES ARE TO BE SCHEDULED AND COMPLETED IN AS MUCH ADVANCE AS POSSIBLE BEFORE THIS PERIOD AND AFTER THE AWARD OF THE CONTRACT TO ENSURE THAT ALL WORK IS 100% COMPLETE BY JULY 29, 2013. WORK IS TO BE SUBSTANTIALLY COMPLETE BY JULY 15, 2013.
- BUILDING ACCESS - CONTRACTOR ACCESS TO THE BUILDING AND SITE WILL BE 7 DAYS A WEEK/24 HOURS A DAY. ALL CONSTRUCTION PERSONNEL WILL BE REQUIRED TO OBTAIN CARD ACCESS FROM THE OWNER. THIS IS TO BE COORDINATED AND ARRANGED IN A TIMELY MANNER BEFORE CONSTRUCTION STARTS ON MAY 13, 2013.
- CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND DISPOSAL OF ALL CONSTRUCTION DEBRIS ASSOCIATED WITH THIS WORK. CONTRACTOR IS ALSO RESPONSIBLE FOR PROVIDING DUST CURTAINS AND CLEAN-UP AT AREAS REQUIRING CUTTING OR DRILLING OF EXISTING MASONRY OR CONCRETE. ANY AIR GRILLES WITHIN THESE AREAS MUST ALSO BE COVERED TO PREVENT DUST FROM ENTERING HVAC SYSTEMS. ALL WORK AREAS ARE TO BE THOROUGHLY CLEANED BY THE CONTRACTOR PRIOR TO COMPLETION OF WORK. DAILY CLEAN-UP IS ALSO REQUIRED.
- ANY ITEMS/MATERIALS INDICATED TO BE REUSED AND/OR RELOCATED SHALL BE STORED IN A SAFE AND DRY ENVIRONMENT UNTIL REINSTALLATION. CONTRACTOR SHALL THOROUGHLY CLEAN ITEMS/MATERIALS TO BE RELOCATED.
- CONTRACTOR IS TO TAKE CAUTION NOT TO DAMAGE ANY EXISTING PROPERTY OR CONSTRUCTION. ANY SUCH DAMAGE WILL BE REPAIRED OR REPLACED AT THE OWNER'S DISCRETION WITHOUT ANY ADDITIONAL COST TO THE OWNER.
- CONTRACTOR IS TO PROTECT OPEN ENTRANCES DURING EXISTING PROPERTY OR CONSTRUCTION. ANY SUCH DAMAGE WILL BE REPAIRED OR REPLACED AT THE OWNER'S DISCRETION WITHOUT ANY ADDITIONAL COST TO THE OWNER.
- CONTRACTOR IS TO PROTECT GABS, ENTRANCES AND SPECIAL METAL FINISHES FROM DAMAGE AFTER INSTALLATION.
- FOR INTERIOR BUILDING FINISHES - REFER TO FINISH SCHEDULE.
- ANY PENETRATION THRU FIRE RATED CONSTRUCTION MUST BE SEALED IN ACCORDANCE WITH THE PROPER U.L. ASSEMBLY DETAIL.

Jumper Carter Sease Architects PA
 412 Meeting Street
 West Columbia
 South Carolina

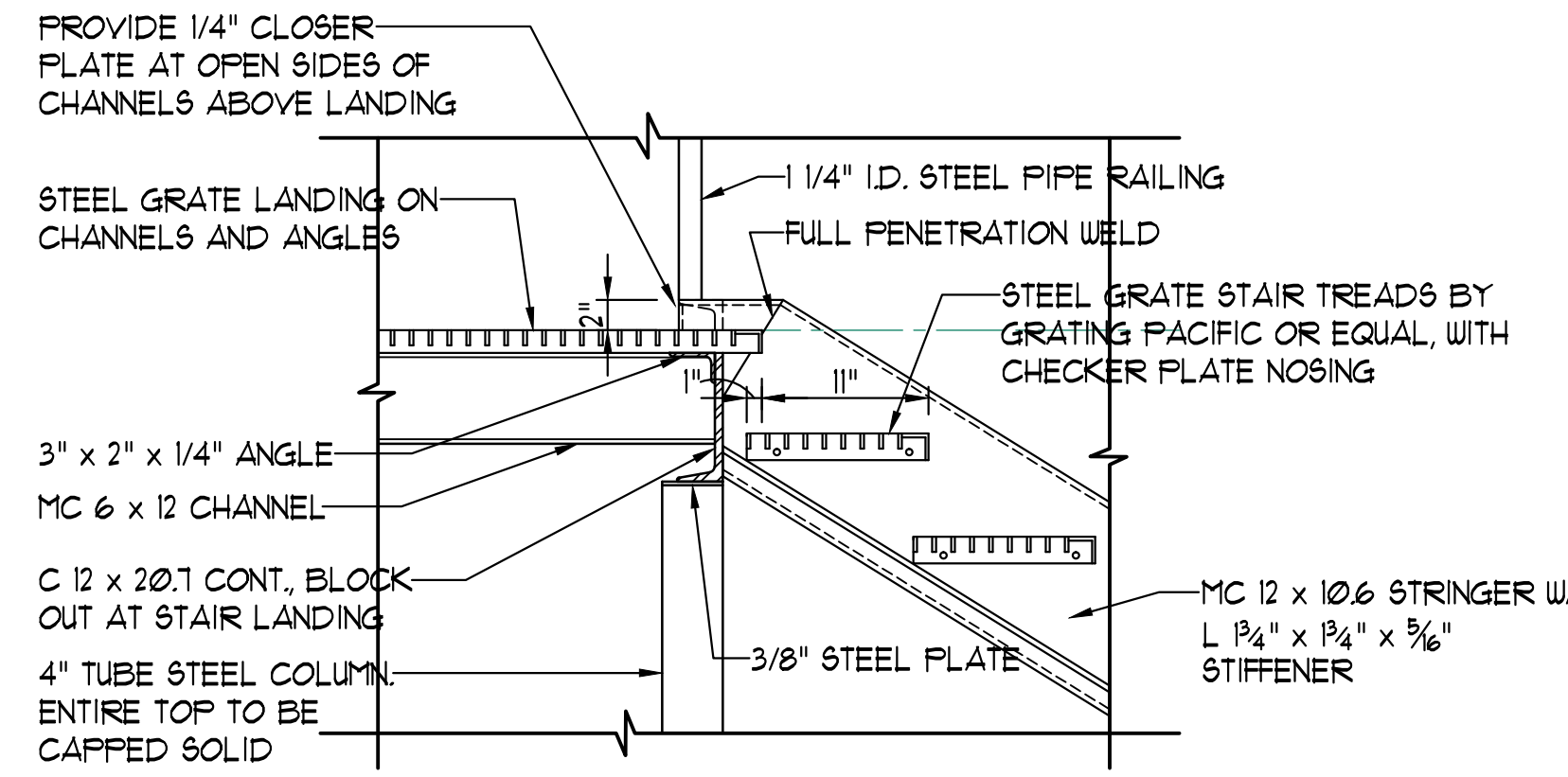
COLUMBIA HALL ELEVATOR MODERNIZATION UNIVERSITY OF SOUTH CAROLINA COLUMBIA, SOUTH CAROLINA

STATE OF SOUTH CAROLINA REGISTERED ARCHITECT
 JUMPER CARTER SEASE ARCHITECTS, PA WEST COLUMBIA, SOUTH CAROLINA C-74002

STATE OF SOUTH CAROLINA REGISTERED ARCHITECT
 M. J. MURPHY, ARCHITECT, P.A. WEST COLUMBIA, SOUTH CAROLINA 7289

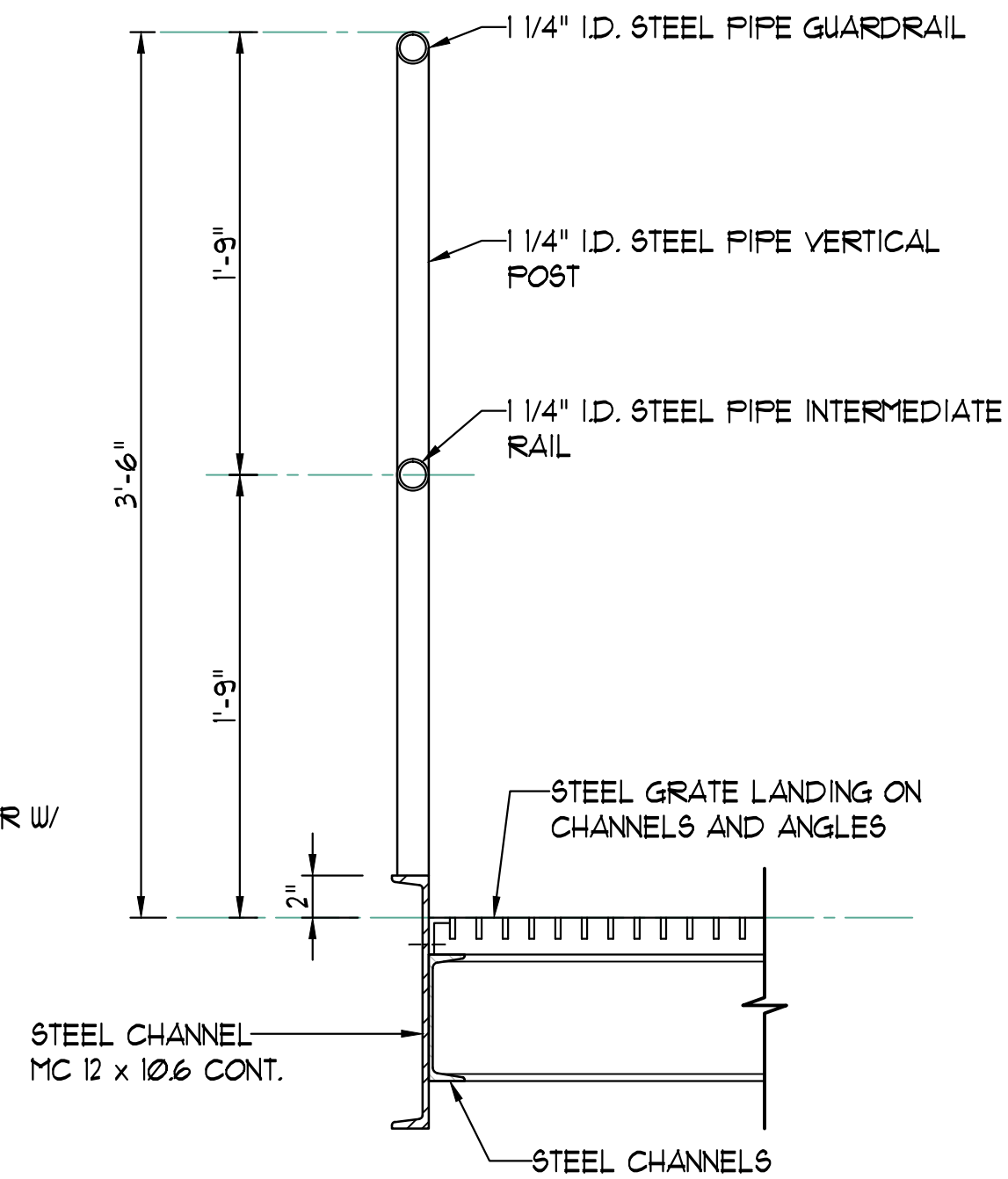
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DRAWN BY: SL
 CHECKED BY: KM
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 DATE: 11/15/2012
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 SHEET NO: A103

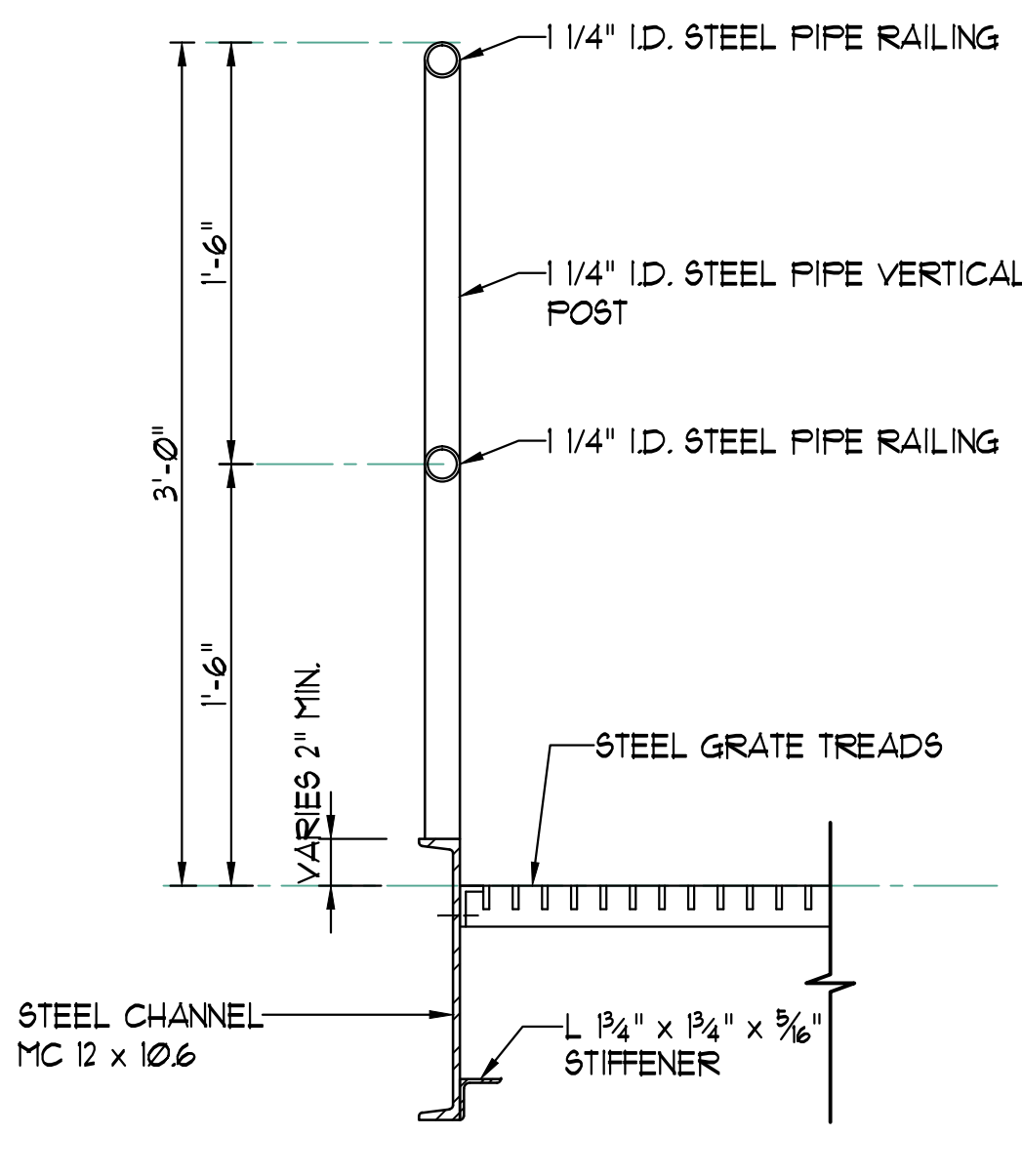


1 **DETAIL AT LANDING**
SCALE: 1" = 1'-0"

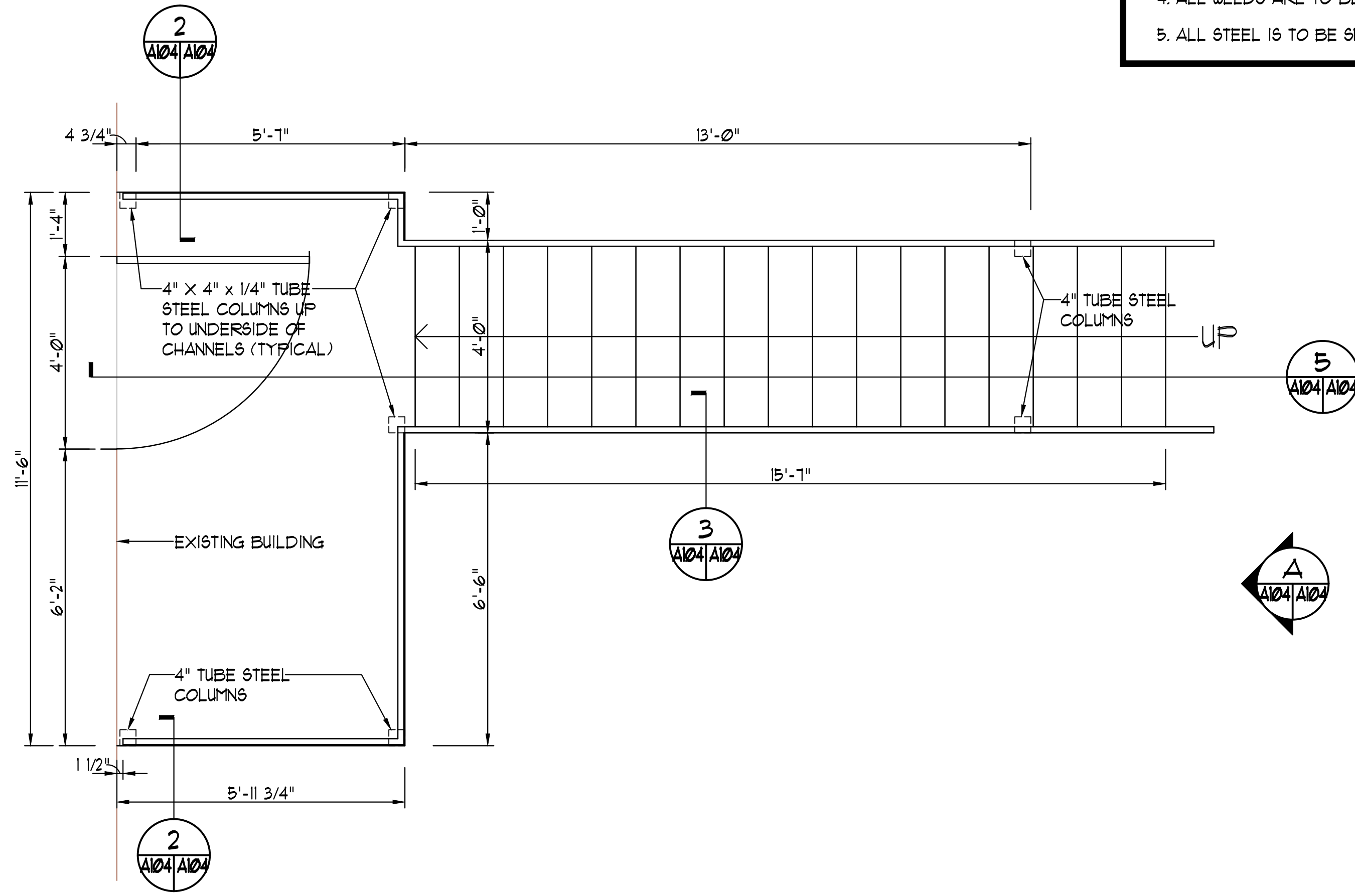
NOTE: SEE GENERAL NOTES ON THIS SHEET.



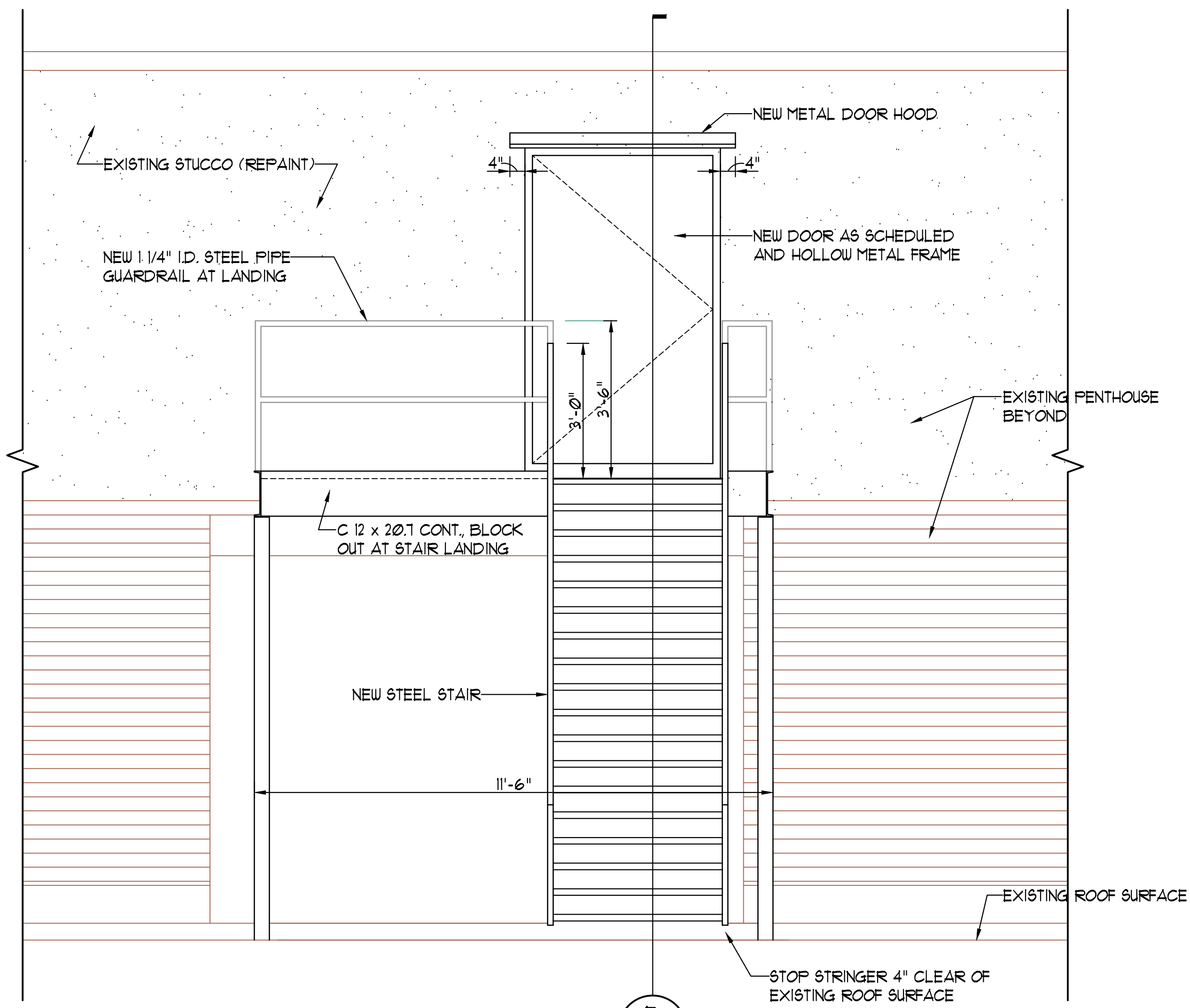
2 **GUARDRAIL DETAIL**
SCALE: 1 1/2" = 1'-0"



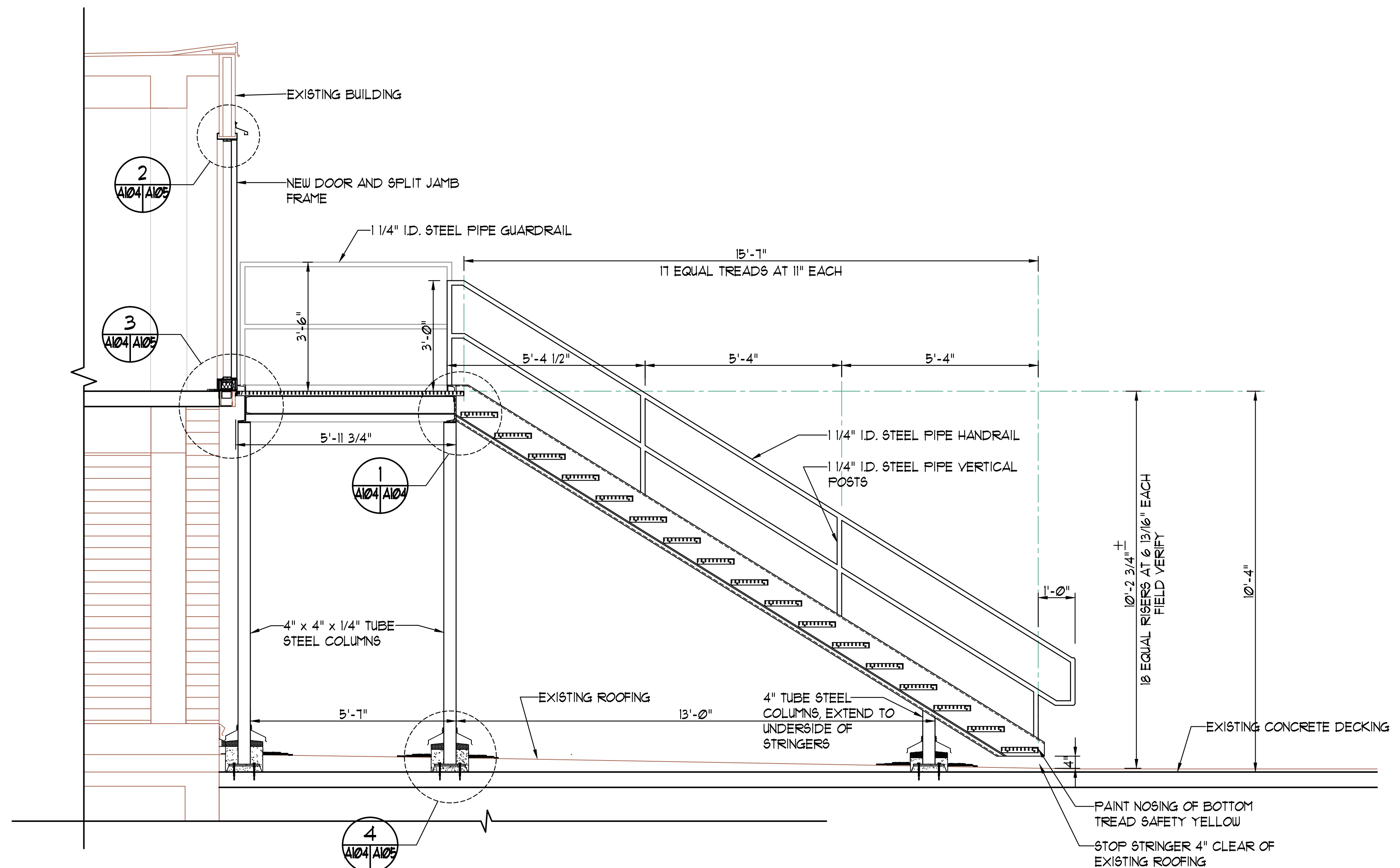
3 **STAIR RAIL DETAIL**
SCALE: 1 1/2" = 1'-0"



4 **MACHINE ROOM STAIR PLAN**
SCALE: 1/2" = 1'-0"



A **MACHINE ROOM ELEVATION**
SCALE: 1/2" = 1'-0"

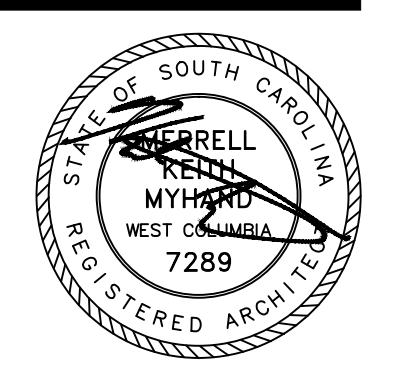


5 **MACHINE ROOM STAIR SECTION**
SCALE: 1/2" = 1'-0"

- STAIR NOTES:**
1. ALL TREADS AND LANDINGS ARE TO HAVE A SLOPE DESIGNED SO THAT WATER WILL NOT ACCUMULATE ON WALKING SURFACES WITH A SLOPE NOT TO BE STEEPER THAN ONE UNIT VERTICAL IN 48 UNITS HORIZONTAL (LESS THAN 2% SLOPE) IN ANY DIRECTION.
 2. ALL STEEL IS TO BE GALVANIZED AND ALL EXPOSED STEEL IS TO BE FINISH PAINTED, EXCEPT DO NOT PAINT GALV. GRATE TREADS OR GRATE LANDING. PAINT BOTTOM STAIR TREAD NOSING SAFETY YELLOW.
 3. FINISH FLOOR SURFACES SHALL BE SECURELY ATTACHED, FULLY WELDED TO STEEL ANGLES AND STRUCTURAL MEMBERS.
 4. ALL WELDS ARE TO BE GRIND SMOOTH.
 5. ALL STEEL IS TO BE SMOOTH WITH NO BURRS.

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COLUMBIA HALL ELEVATOR MODERNIZATION
UNIVERSITY OF SOUTH CAROLINA
COLUMBIA, SOUTH CAROLINA



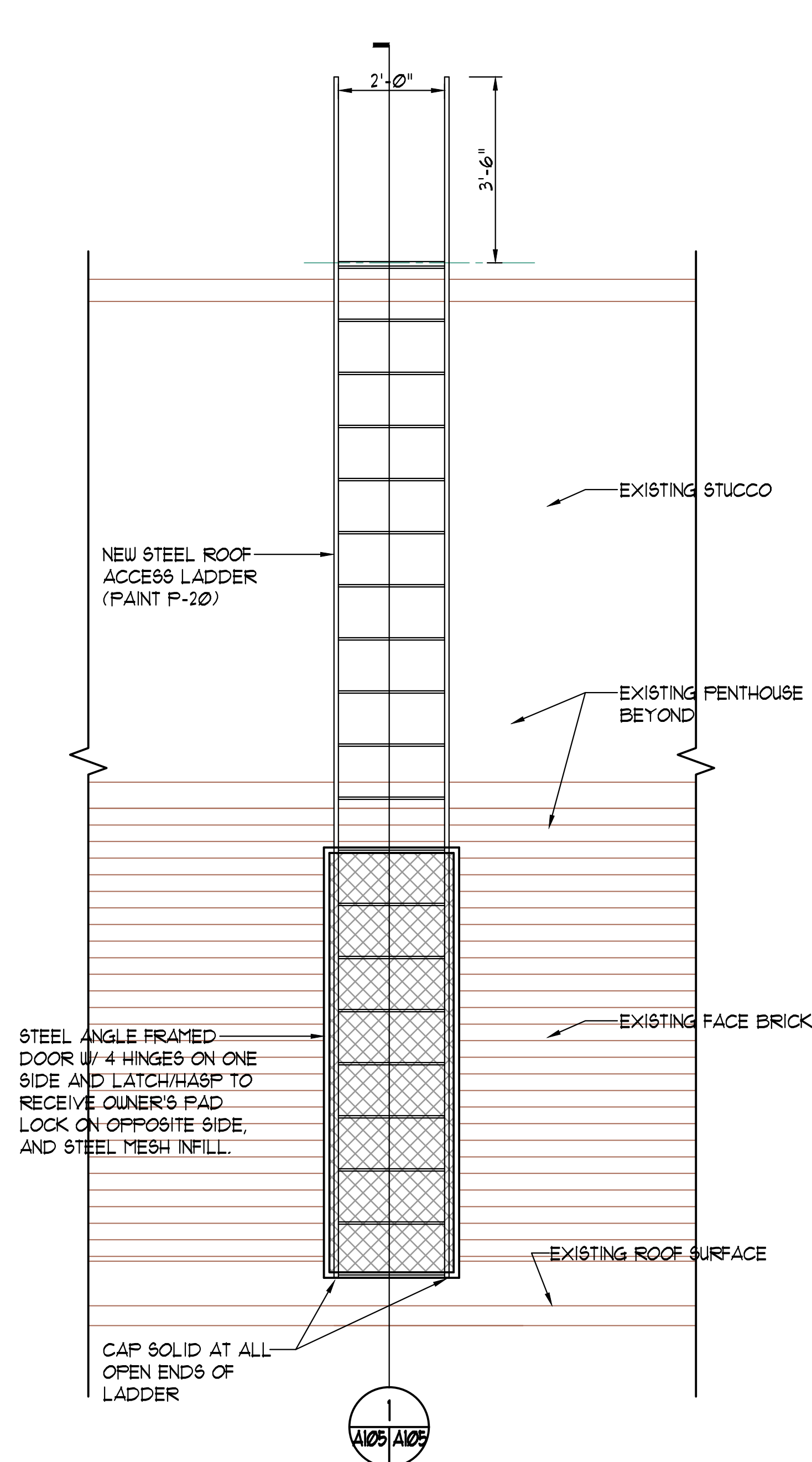
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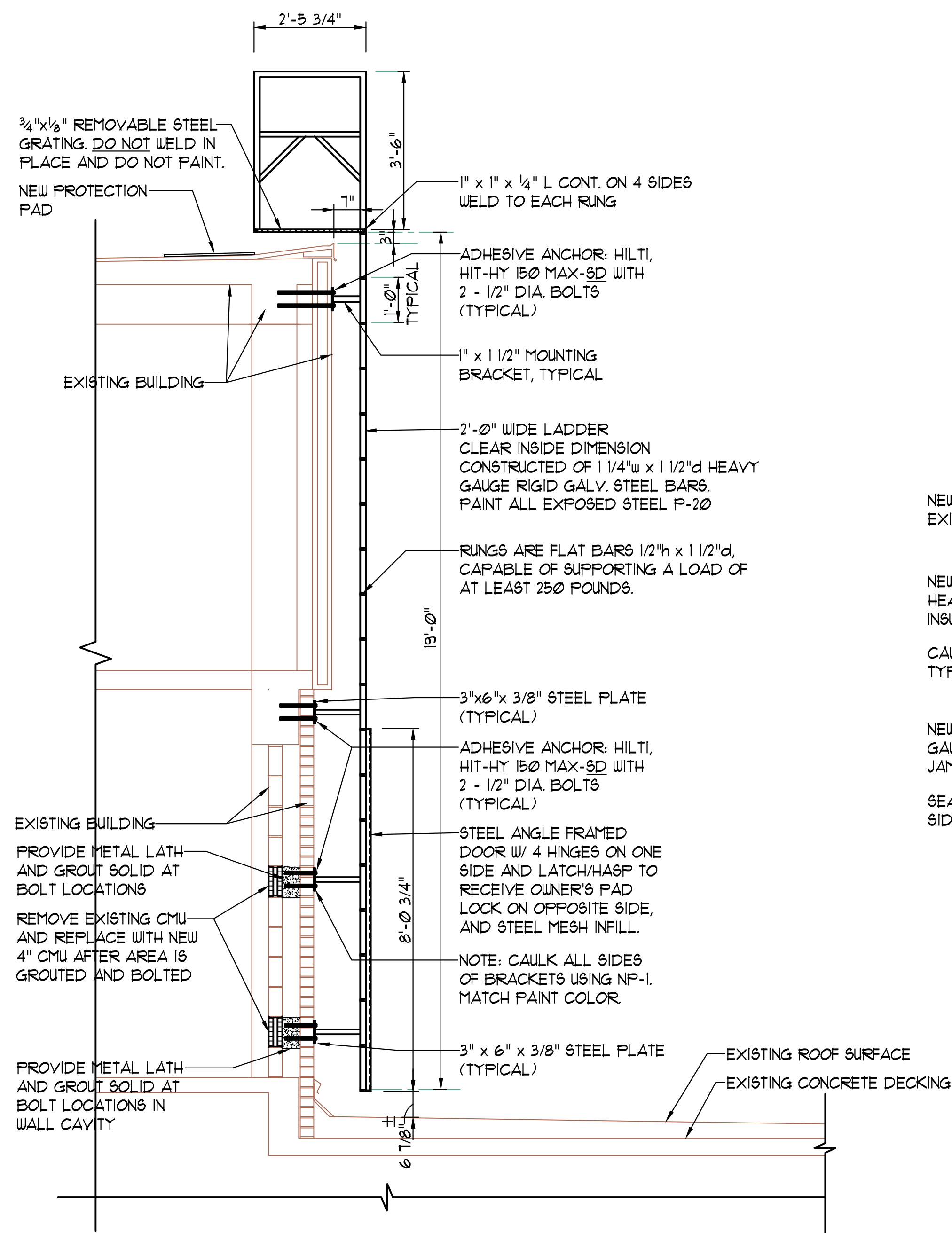
ROOF LEVEL/
MACHINE ROOM
ACCESS STAIR &
ENTRY

SHEET NO:
A104

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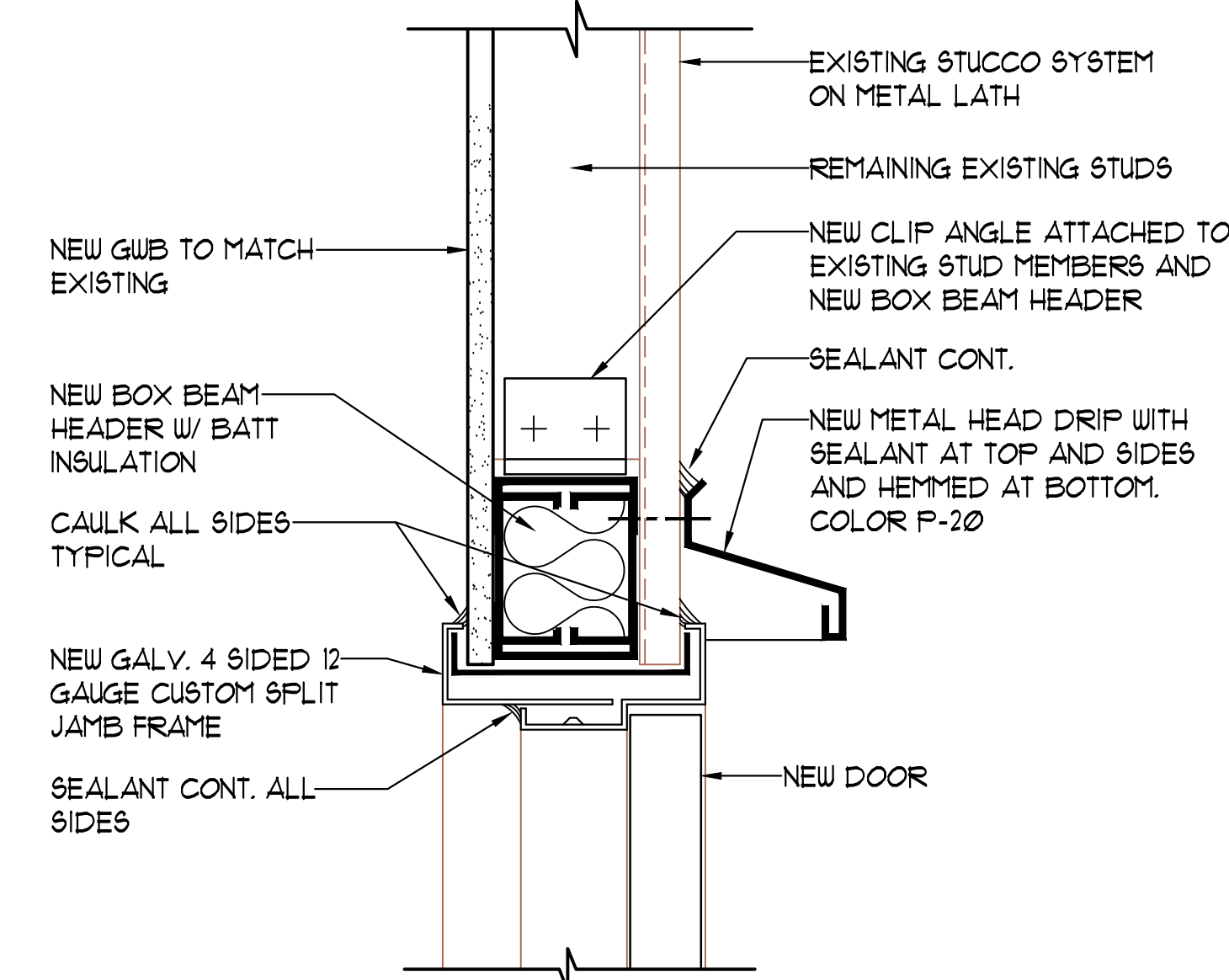


A ROOF ACCESS LADDER ELEVATION
SCALE: 1/2" = 1'-0"



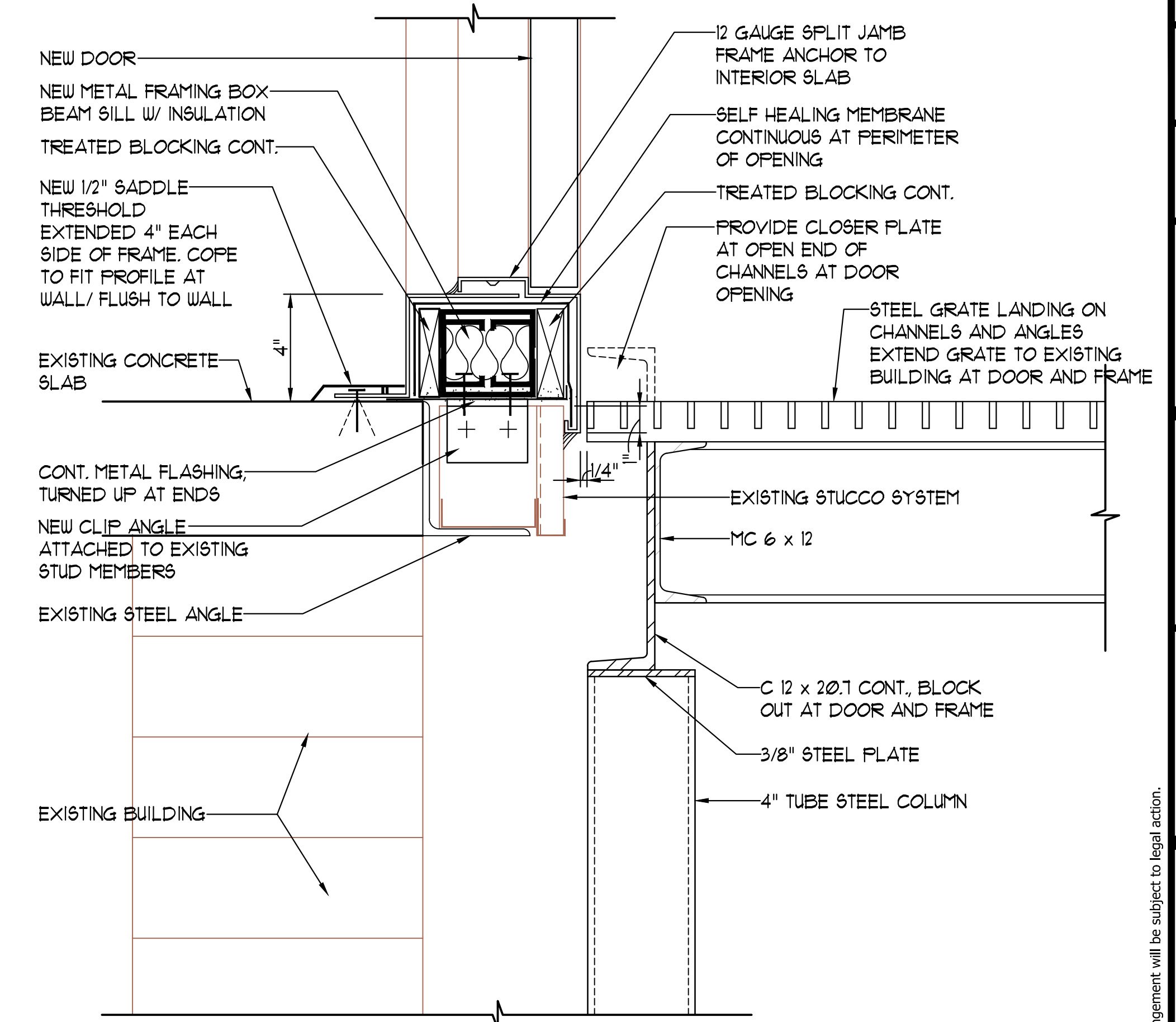
1 ROOF ACCESS LADDER SECTION
SCALE: 1/2" = 1'-0"

- NOTES:
1. LADDER TO BE HOT DIPPED GALVANIZED AFTER FABRICATION. PAINT ALL EXPOSED STEEL, EXCEPT GRATING.
 2. LADDER RUNGS ARE TO BE CORRUGATED, DIMPLED OR TREATED TO MINIMIZE SLIPPING. RUNGS ARE FLAT BARS 1/2" x 1 1/2" d, CAPABLE OF SUPPORTING A LOAD OF AT LEAST 250 POUNDS.
 3. ALL WELDS ARE TO BE GROUND SMOOTH.
 4. ALL STEEL IS TO BE SMOOTH WITH NO BURRS.

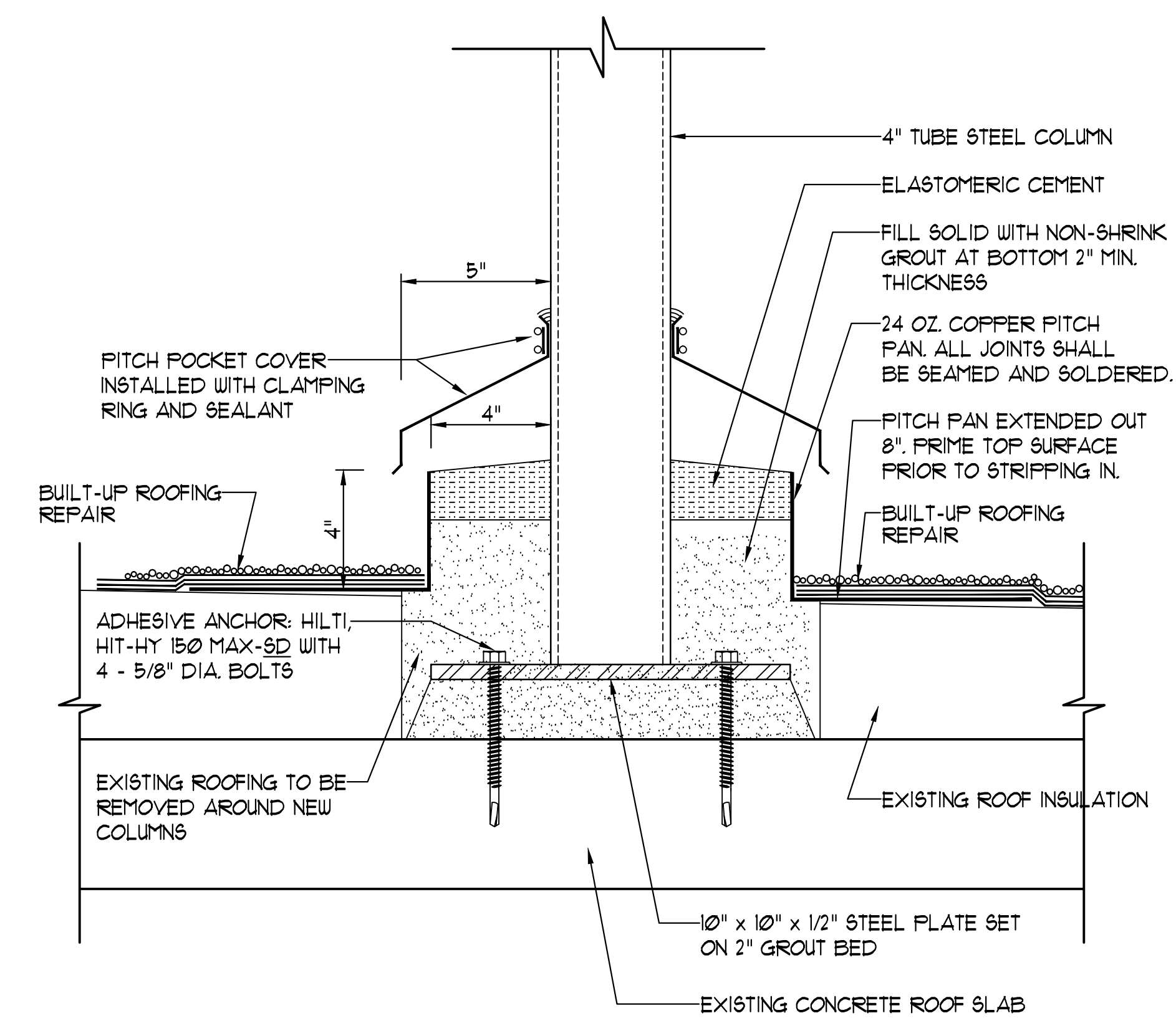


2 DOOR HEAD DETAIL
SCALE: 3" = 1'-0"
(JAMB SIMILAR)

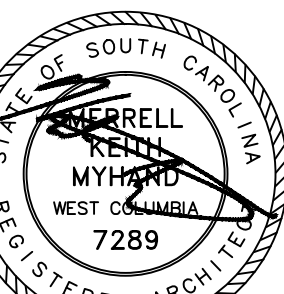
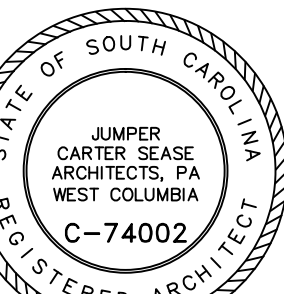
NOTE:
CONTRACTOR IS TO MODIFY AND STRENGTHEN EXISTING FRAMING MEMBERS AS REQUIRED FOR PROPER SUPPORT OF NEW DOOR AND FRAME. COORDINATE IN ADVANCE WITH ABATEMENT CONTRACTOR FOR SIZE OF DRYWALL REMOVAL. DO NOT DAMAGE EXTERIOR STUCCO SYSTEM BEYOND OPENING. NEW BOX BEAM SHOWN IS TO BE SIZED ACCORDINGLY BASED ON FIELD CONDITIONS. NEW FRAMING IS TO BE 20 GAUGE MINIMUM. COORDINATE INSTALLATION OF SILL BOX BEAM, DOOR AND FRAME AFTER THE EQUIPMENT IS INSTALLED.



3 DOOR SILL DETAIL
SCALE: 3" = 1'-0"



4 TYPICAL PITCH POCKET DETAIL
SCALE: 3" = 1'-0"

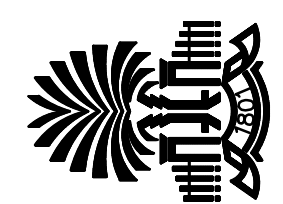
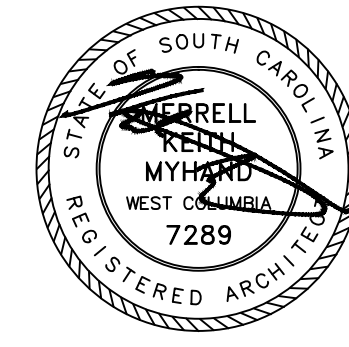
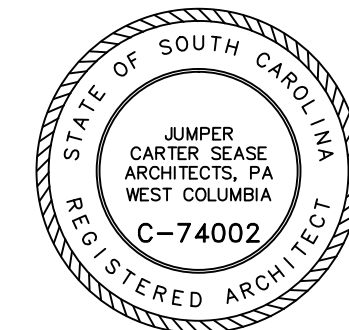


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DRAWN BY: CEM
CHECKED BY: KM
COMM NO: 12109
DATE: 11/15/2012
SHEET TITLE:

ROOF LEVEL
MACHINE ROOM
ROOF ACCESS
LADDER
& MISC. DETAILS

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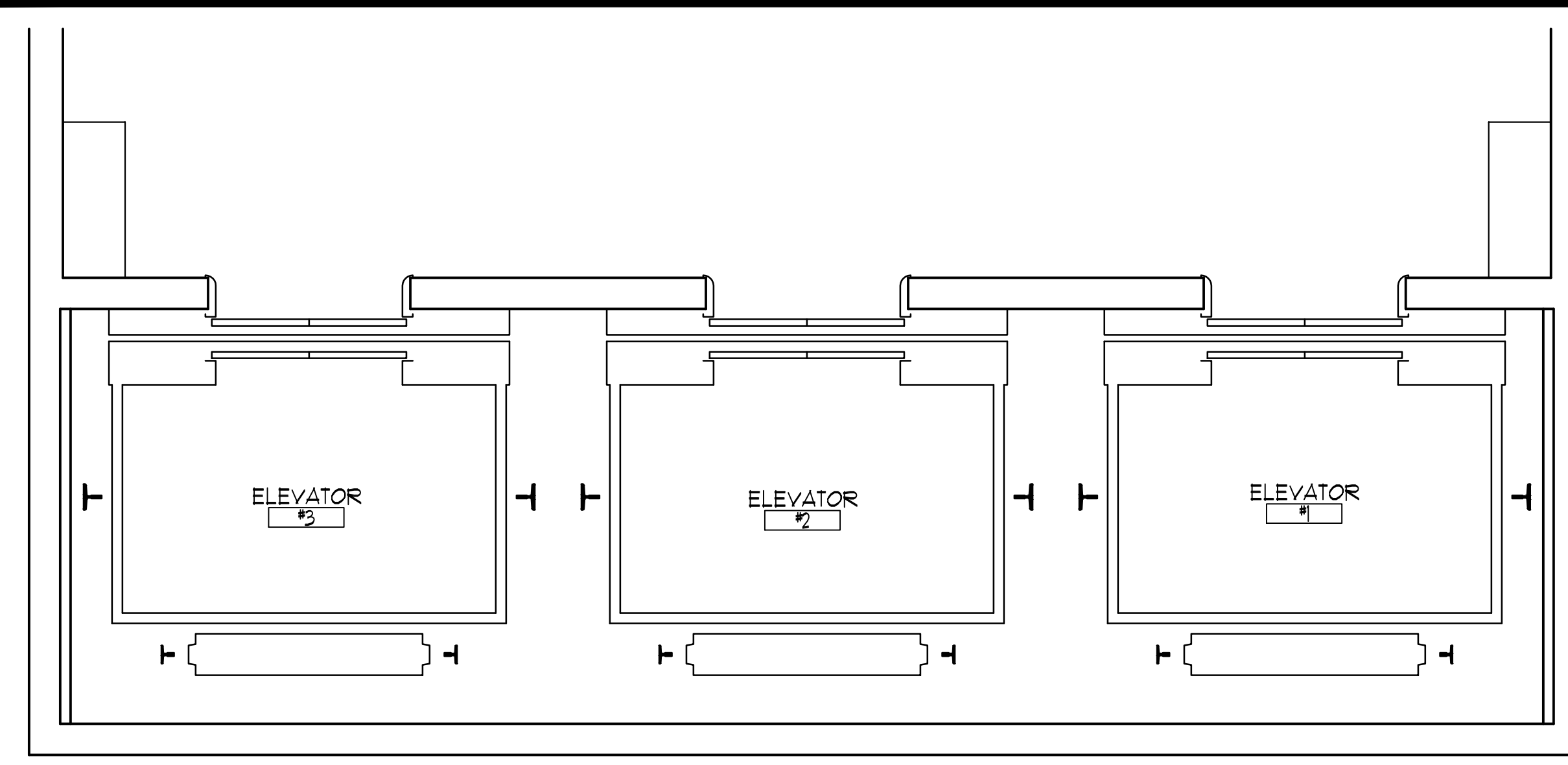
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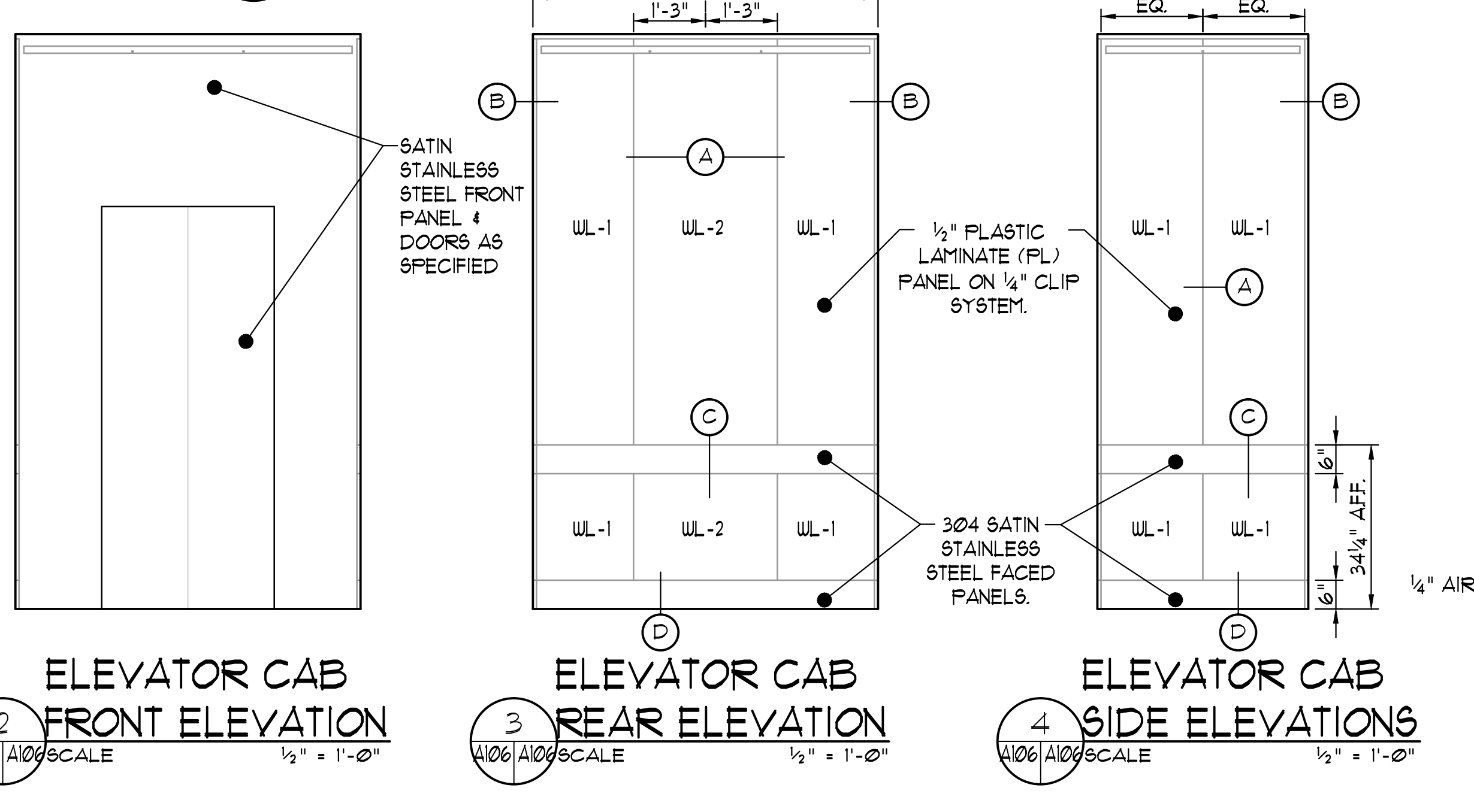
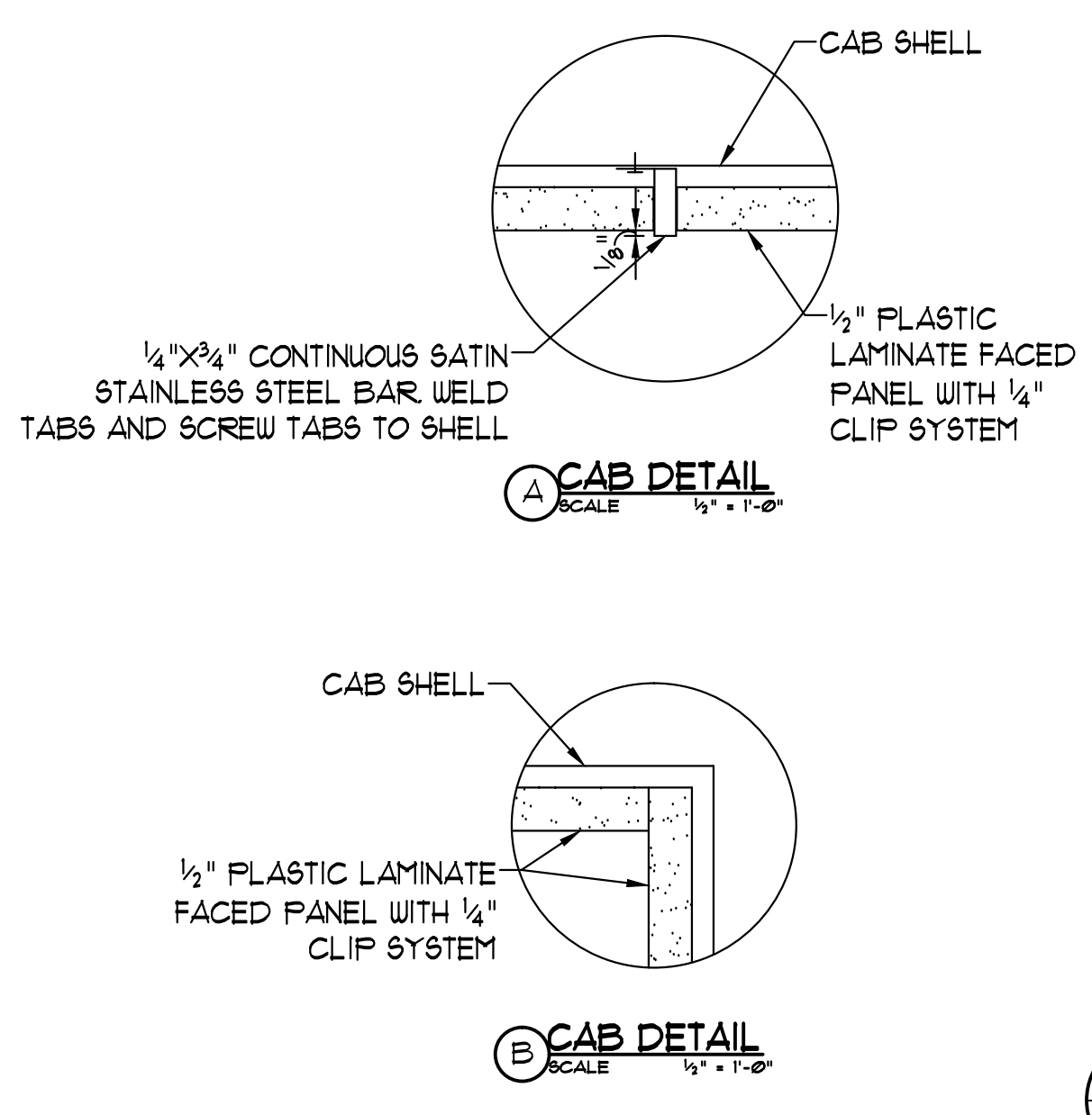
ELEVATOR CAB
PLANS &
ELEVATIONS/
FINISH & DOOR
SCHEDULES

SHEET NO:

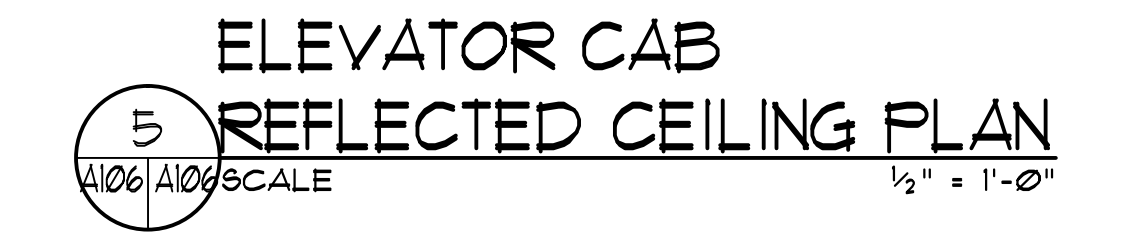
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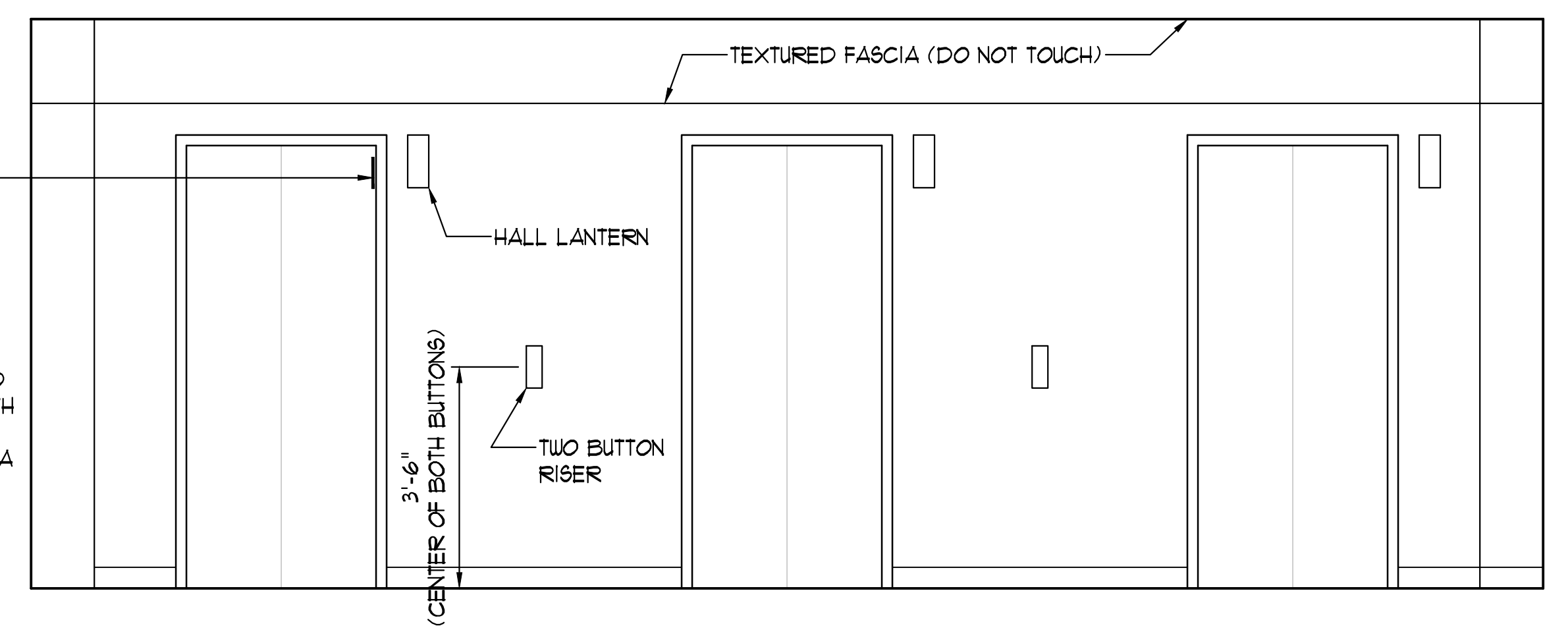
ENLARGED ELEVATOR HOISTWAY PLAN
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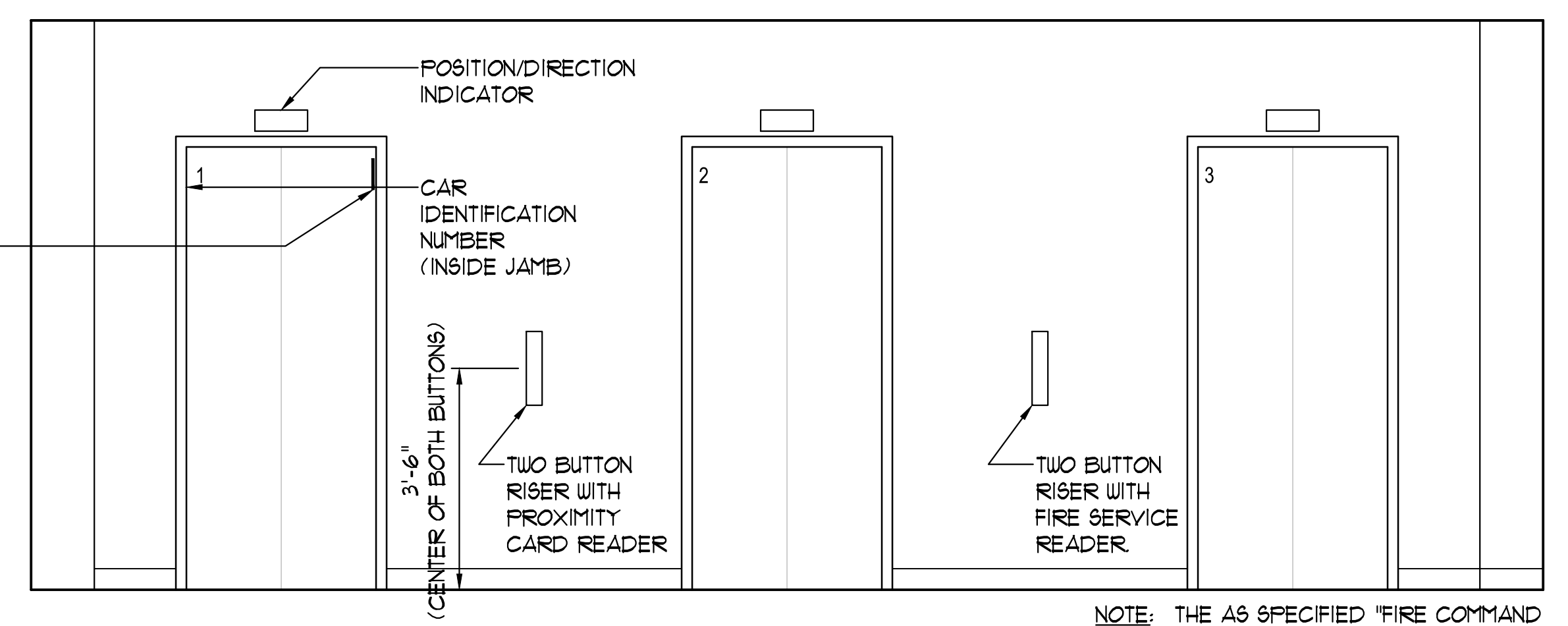
ELEVATOR CAB FRONT ELEVATION, REAR ELEVATION, SIDE ELEVATIONS
SCALE: 1/2" = 1'-0"



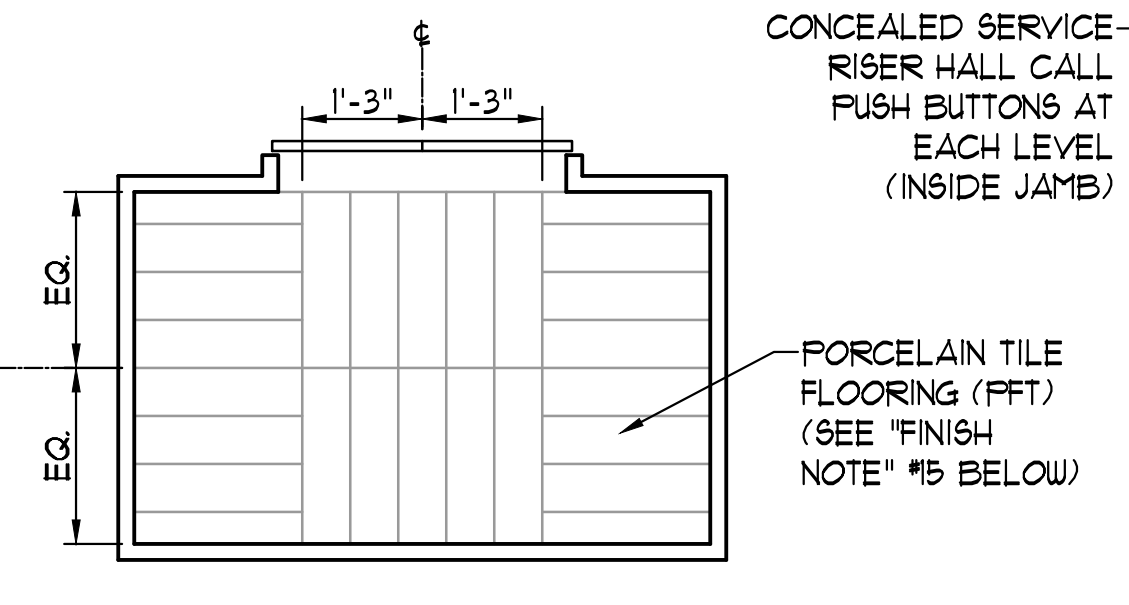
ELEVATOR CAB REFLECTED CEILING PLAN
SCALE: 1/2" = 1'-0"



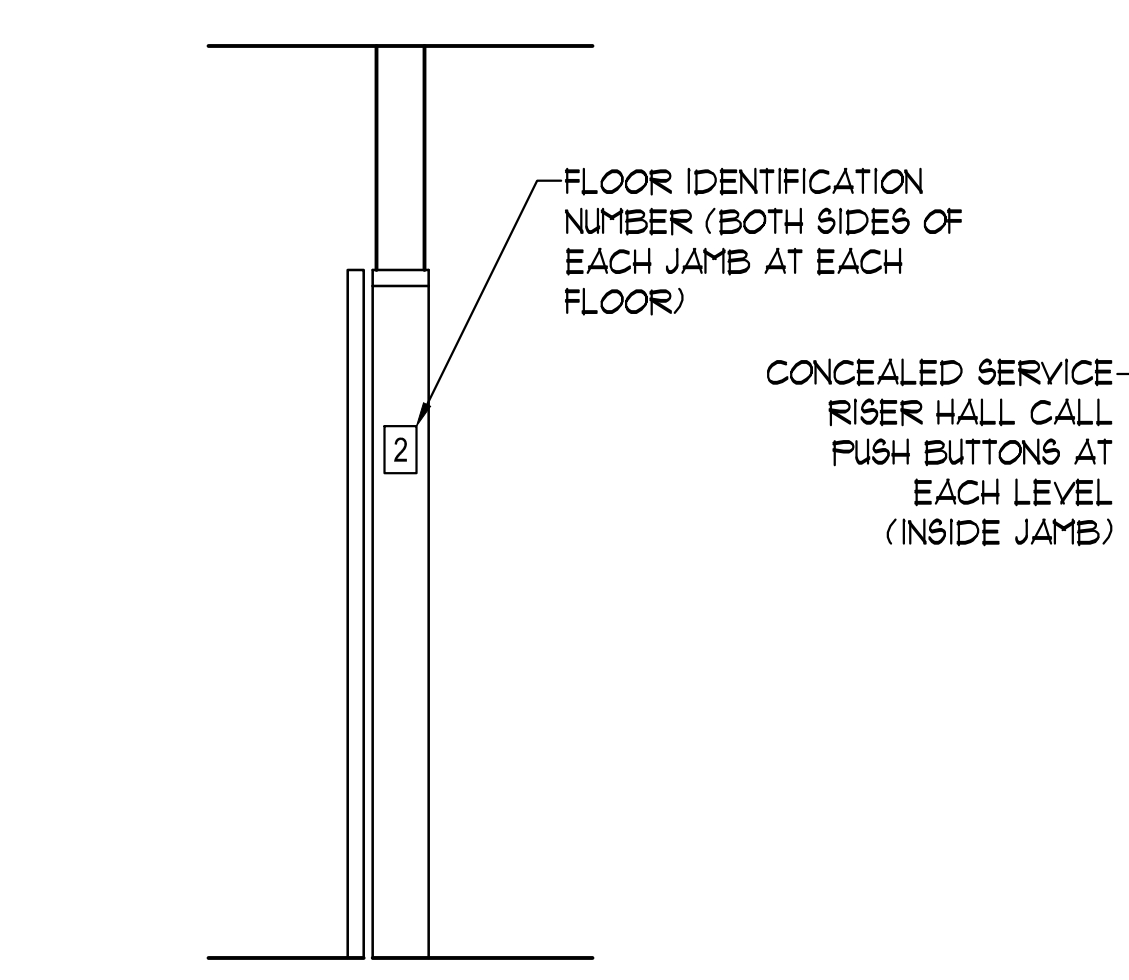
LEVELS 2 THRU 11 ELEVATOR LOBBY ELEVATION
SCALE: 1/2" = 1'-0"



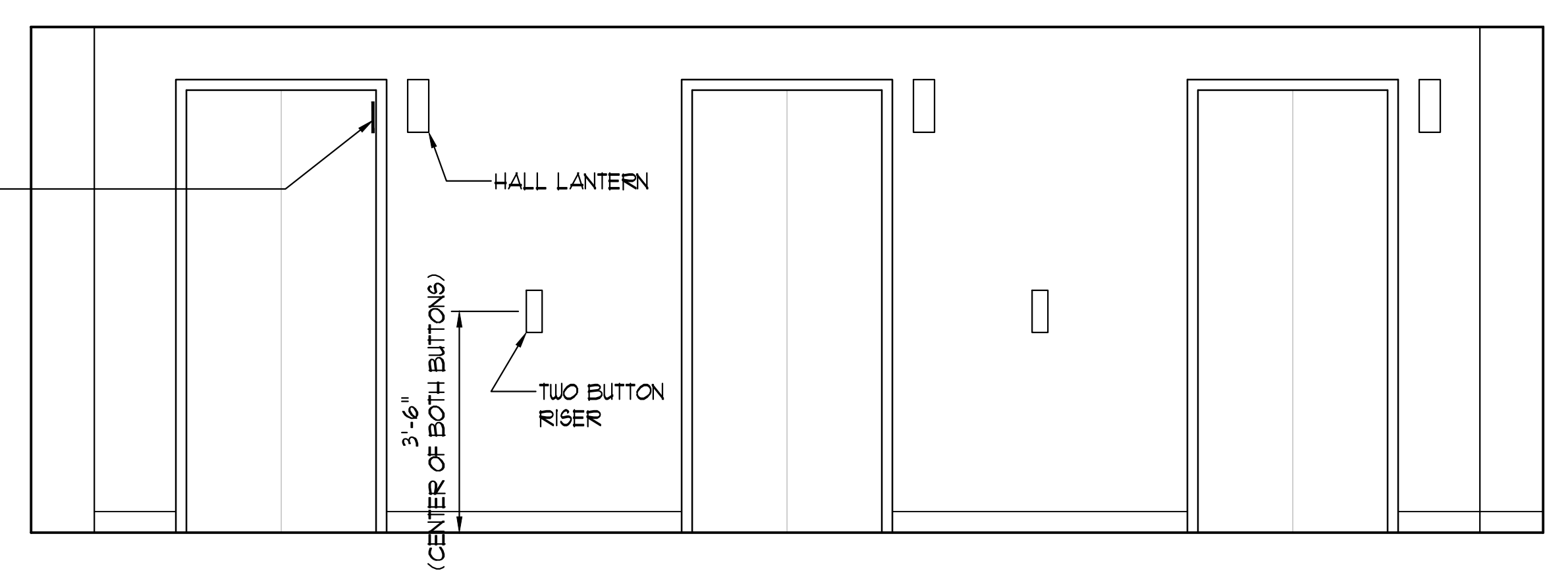
GROUND FLOOR MAIN LOBBY ELEVATOR LOBBY ELEVATION
SCALE: 1/2" = 1'-0"



ELEVATOR CAB FLOOR PLAN
SCALE: 1/2" = 1'-0"



ELEVATOR HOISTWAY JAMB ELEVATION
SCALE: 1/2" = 1'-0"



BASEMENT ELEVATOR LOBBY ELEVATION
SCALE: 1/2" = 1'-0"

| NO. | NAME | FLOOR | BASE | WALLS | | | | | | | | EXISTING CEILING HEIGHT. | ENTRANCE FRAMES, SIGHT GUARD | REMARKS FINISH NOTES |
|-----------|----------------------|-----------|-----------------|-----------|---------|-----------|---------|-----------|---------|----------|-------|--------------------------|--|--|
| | | | | NORTH | | EAST | | SOUTH | | WEST | | | | |
| EXG. MAT. | FINISH | EXG. MAT. | FINISH | EXG. MAT. | FINISH | EXG. MAT. | FINISH | EXG. MAT. | FINISH | | | | | |
| L001 | BASEMENT LOBBY | EXG/VCT | EXG/RUB/CMU | CMU | PLASTER | CMU | PLASTER | CMU | PLASTER | CMU | 8'-0" | P-5 | | |
| L101 | 1ST FLOOR LOBBY | EXG/TERR | EXG/TERR | PLASTER | PLASTER | PLASTER | PLASTER | BRICK | | | 9'-0" | P-6 | NOTE 10 | |
| L201 | 2ND FLOOR LOBBY | EXG/VCT | EXG/RUB/PLASTER | PLASTER | PLASTER | PLASTER | PLASTER | PLASTER | PLASTER | PLASTER | 8'-0" | P-1 | PAINT ONLY AREA OF NORTH & SOUTH WALL INDICATED. | |
| L301 | 3RD FLOOR LOBBY | EXG/VCT | EXG/RUB/PLASTER | PLASTER | PLASTER | PLASTER | PLASTER | PLASTER | PLASTER | PLASTER | 8'-0" | P-1 | PAINT ONLY AREA OF NORTH & SOUTH WALL INDICATED. | |
| L401 | 4TH FLOOR LOBBY | EXG/VCT | EXG/RUB/PLASTER | PLASTER | PLASTER | PLASTER | PLASTER | PLASTER | PLASTER | PLASTER | 8'-0" | P-1 | PAINT ONLY AREA OF NORTH & SOUTH WALL INDICATED. | |
| L501 | 5TH FLOOR LOBBY | EXG/VCT | EXG/RUB/PLASTER | PLASTER | PLASTER | PLASTER | PLASTER | PLASTER | PLASTER | PLASTER | 8'-0" | P-1 | PAINT ONLY AREA OF NORTH & SOUTH WALL INDICATED. | |
| L601 | 6TH FLOOR LOBBY | EXG/VCT | EXG/RUB/PLASTER | PLASTER | PLASTER | PLASTER | PLASTER | PLASTER | PLASTER | PLASTER | 8'-0" | P-1 | PAINT ONLY AREA OF NORTH & SOUTH WALL INDICATED. | |
| L701 | 7TH FLOOR LOBBY | EXG/VCT | EXG/RUB/PLASTER | PLASTER | PLASTER | PLASTER | PLASTER | PLASTER | PLASTER | PLASTER | 8'-0" | P-1 | PAINT ONLY AREA OF NORTH & SOUTH WALL INDICATED. | |
| L801 | 8TH FLOOR LOBBY | EXG/VCT | EXG/RUB/PLASTER | PLASTER | PLASTER | PLASTER | PLASTER | PLASTER | PLASTER | PLASTER | 8'-0" | P-1 | PAINT ONLY AREA OF NORTH & SOUTH WALL INDICATED. | |
| L901 | 9TH FLOOR LOBBY | EXG/VCT | EXG/RUB/PLASTER | PLASTER | PLASTER | PLASTER | PLASTER | PLASTER | PLASTER | PLASTER | 8'-0" | P-1 | PAINT ONLY AREA OF NORTH & SOUTH WALL INDICATED. | |
| L1001 | 10TH FLOOR LOBBY | EXG/VCT | EXG/RUB/PLASTER | PLASTER | PLASTER | PLASTER | PLASTER | PLASTER | PLASTER | PLASTER | 8'-0" | P-1 | PAINT ONLY AREA OF NORTH & SOUTH WALL INDICATED. | |
| L1101 | 11TH FLOOR LOBBY | EXG/VCT | EXG/RUB/PLASTER | PLASTER | PLASTER | PLASTER | PLASTER | PLASTER | PLASTER | PLASTER | 8'-0" | P-1 | PAINT ONLY AREA OF NORTH & SOUTH WALL INDICATED. | |
| M1201 | MECHANICAL ROOM | EXG/CONC | | CMU/GUB | P-3 | CMU/GUB | P-3 | CMU | P-3 | CMU/GUB | P-3 | VARIABLE | NOTE 13. PAINT ALL DRYWALL SURFACES P-3. | |
| M1301 | ELEVATOR MACHINE RM. | CONC/P-11 | RUB-1 | CONC/GUB | P-3 | CONC/GUB | P-3 | CONC/GUB | P-3 | CONC/GUB | P-3 | 8'-6" | N/A | SEE KEYNOTE # 18/A103 - NOTES 11, 12 & 13. |
| M1302 | RADIO EQUIP. ROOM | UD/P-10 | RUB-1 | GUB | P-3 | GUB | P-3 | CMU | P-3 | GUB | P-3 | 8'-6" | N/A | NOTE 13, 14 |

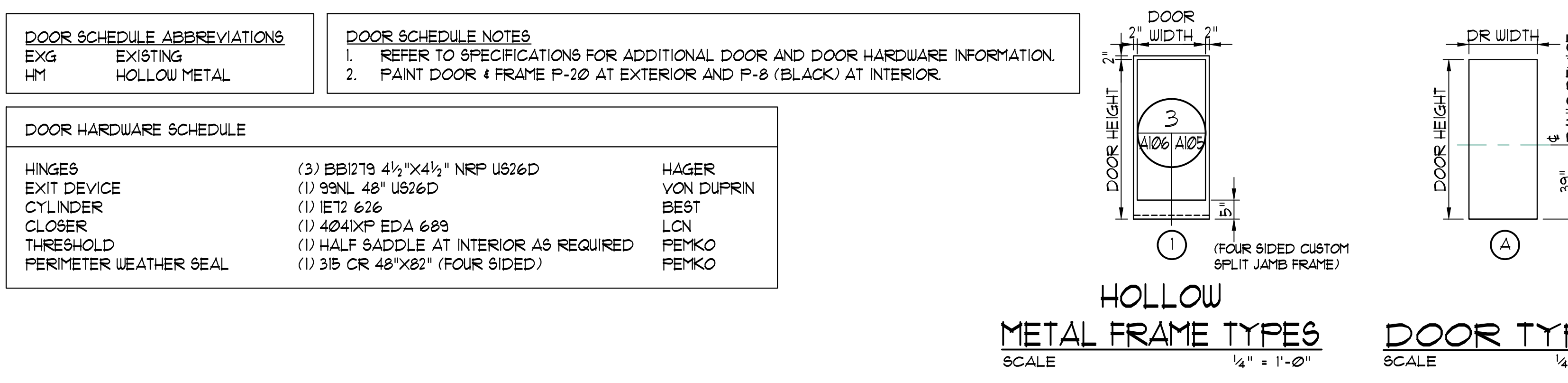
FINISHES:

- PORCELAIN FLOOR TILE (ELEVATOR CABS)
PFT-1 CORTEX LUCITADO BY PROVENZA 6"x24"x3/8"
GROUT: LATICRETE EPOXY, COLOR 45 "RAVEN"
- WALL LAMINATE (ELEVATOR CABS)
WL-1 WILSONART, STUDIO TEAK, A EON 1860-K-18
(GRAIN TO RUN VERTICAL ON WALLS)
WL-2 RIMEX METAL, LINEN, BA FINISH, 304 STAINLESS STEEL
- BASE:
RUB-1 RUBBER WALL BASE, 6"-BLACK
- INTERIOR PAINT COLORS:
P-1 WALL PAINT: MATCH EXISTING
P-2 WALL PAINT: SU 6214 "UNDER SEAS" (EG-SHEL)
P-3 WALL PAINT: SU 1855 "PATIENCE" (EG-SHEL)
P-4 WALL PAINT: NOT USED
P-5 TRIM PAINT: MATCH EXISTING ENTRANCE FRAME COLOR
P-6 TRIM PAINT: SU 1615 "SEALSKIN" (SEMI-GLOSS)
P-7 TRIM PAINT: MATCH EXISTING ENTRANCE FRAME COLOR
P-8 TRIM PAINT: SU 6930 "CAVIAR" (SEMI-GLOSS)
P-9 CEILING PAINT: SU 1006 "EXTRA WHITE" (EG-SHEL)
P-10 FLOOR PAINT: MATCH EXISTING BLACK
P-11 FLOOR PAINT: COLOR RED
P-12 SPRINKLER PIPING: SAFETY RED
- EXTERIOR PAINT COLORS:
P-20 TRIM PAINT: MATCH EXISTING DARK BRONZE COPING AT MACHINE ROOM ROOF
P-21 STUCCO WALL PAINT: MATCH EXISTING
- FINISH SCHEDULE ABBREVIATIONS:
RUB RUBBER WALL BASE
VCT VINYL COMPOSITIONAL TILE
EXG EXISTING
CONC CONCRETE
CPT CARPET
TERR TERRAZZO
GUB GYPSUM WALL BOARD
UD WOOD
TED TO BE DETERMINED
WL WALL LAMINATE

FINISH NOTES:

- FINISHES INDICATED ARE TO BE INCLUDED IN ALL SUBMITTALS FOR FINAL CONFIRMATION.
- CONTRACTOR IS TO COVER AND PROTECT ALL EQUIPMENT FROM DAMAGE, NEW PAINT OR REQUIRED PREPARATION PROCEDURES, ALL EXISTING PERMANENT SIGNAGE, CLOCKS, ALUMINUM DOORS & FRAMES, WALL BASE, NATURAL BRICK, FLOORING, TEXTURED FASCIA & CEILING, AND CEILING GRID MUST ALSO BE PROTECTED. THE PAINT CONTRACTOR IS RESPONSIBLE FOR THE CLEANING OF ALL EXCESS PAINT. ANY ITEM DAMAGED BY PAINTING CONTRACTOR'S ATTEMPT TO CLEAN WILL BE THE RESPONSIBILITY OF THE PAINTER TO REPLACE AT THE OWNER'S OPTION.
- CONTRACTOR SHALL PROTECT AND PAINT AROUND ALL FIRE EXTINGUISHERS, FIRE EXTINGUISHER CABINETS, WALL-MOUNTED ELECTRONICS, EQUIPMENT, RACEWAYS OR DEVICES, TACK BOARDS, TACK STRIPS, ACOUSTICAL PANELS, AND SPEAKERS UNLESS OTHERWISE NOTED. EXPOSED CONDUIT MAY BE PAINTED TO MATCH ADJACENT SURFACE, BUT DO NOT PAINT ASSOCIATED DEVICES.
- REMOVE ALL DEVICE COVERS, PAINT WALL AND REINSTALL. DO NOT PAINT LIFE SAFETY DEVICES.
- REMOVE ANY EXPOSED SCREWS, CLIPS, WALL ANCHORS, ETC. AND PATCH/REPAIR WALL PRIOR TO PAINTING.
- REFER TO SHEET A106 & SPECIFICATIONS FOR ELEVATOR CAB FINISHES.
- CEILING HEIGHTS NOTED ARE APPROXIMATE FOR BIDDING PURPOSES ONLY. FIELD VERIFY AS REQUIRED.
- WALLS INDICATED AS PLASTER ARE PLASTER OVER A CMU SUBSTRATE.
- REFER TO FLOOR PLANS FOR ADDITIONAL WALL PAINTING INFORMATION.
- CONTRACTOR IS TO REMOVE EXISTING CARPET ALONG WITH ANY ASSOCIATED PADDING OR OTHER CARPET INSTALLATION PRODUCTS. CONTRACTOR IS TO REPAIR ANY DAMAGE TO EXISTING TERRAZZO FLOOR AND WALL BASE. REPAIRS ARE TO MATCH EXISTING TERRAZZO COLORS INCLUDING AGGREGATE AND THEN THE FLOOR POLISHED. ALL REPAIRS AND FINISHING ARE TO BE IN ACCORDANCE WITH THE NT 114 WRITTEN INSTRUCTIONS FOR THE TYPE OF TERRAZZO EXISTING. REFER TO NT 114 TECHNICAL BULLETIN # 56, LATEST REVISION.
- PAINT EXISTING CONCRETE CEILING AND BEAMS P-3.
- PROVIDE 6" RUBBER WALL BASE AT GYPSUM WALL BOARD ONLY.
- PAINT EXISTING SPRINKLER PIPING RED, P-12.
- PAINT RADIO ROOM DOOR AND FRAME P-8.
- ELEVATOR CAB FLOORING: THE ELEVATOR PLATFORM IS COVERED WITH A STEEL SHEET IN ORDER TO MINIMIZE DEFLECTION WHEN USING OR STONE OR TILE FLOORING. TILE FLOORING IS TO THEN BE INSTALLED USING AN "ANTI-FRACTURE" MEMBRANE USING A URETHANE ADHESIVE SPECIALLY MADE FOR NON-POROUS SURFACES (STEEL). THE TILE (1/4" MAX THICKNESS) IS TO THEN BE INSTALLED USING A TWIN SET ADHESIVE. GAPS BETWEEN TILES ARE TO BE 1/8" MINIMUM. ALL SETTING MATERIALS MUST BE FROM A SINGLE SOURCE MANUFACTURER. LATICRETE OR OTHER PRE-APPROVED EQUAL. TILE FLOORING SYSTEM IS TO BE INSTALLED IN ACCORDANCE WITH INDUSTRY STANDARDS FOR ABOVE GROUND APPLICATIONS IN ELEVATOR CABS AND PER LATICRETE TECHNICAL DATA SHEET TD8-134. PRIOR EXPERIENCE IN SUCCESSFUL TILE INSTALLATIONS ON ELEVATOR CAB STEEL PLATFORM SHEETS IS REQUIRED. SUBMIT ALL MATERIALS PER SPECIFICATION SECTION 013300 "SUBMITTAL PROCEDURES".

| NO. | DOOR | | | | | | FRAME | | | | FIRE LBL. | REMARKS | | | |
|------|------|-------|--------|------|-------|--------|-------|----------------|-----|------------------|-----------|---------|---|-------|--------------------|
| | TY. | WIDTH | HEIGHT | TKS. | MATL. | FINISH | SIZE | LIGHT GL. TYPE | TY. | H | | | J | S | MATL. |
| 1301 | A | 4'-0" | 6'-6" | 1/4" | HM | PAINT | | | 1 | 4/A104/A104/A104 | HM | | | PAINT | INSULATED, NOTE 2. |

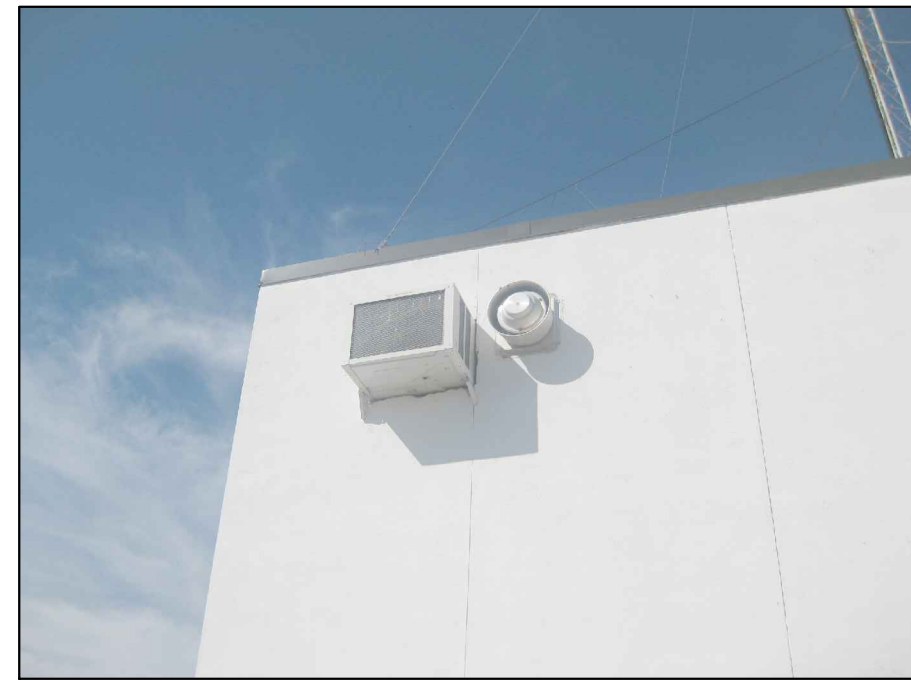




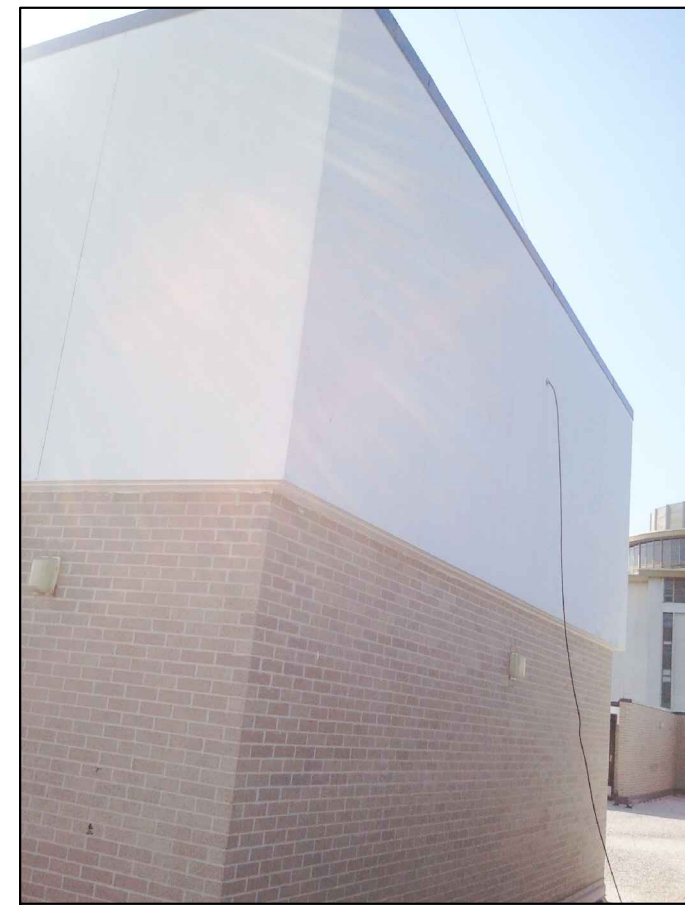
① MACHINE ROOM - NORTH SIDE



③ EXISTING HOISTWAY VENTS

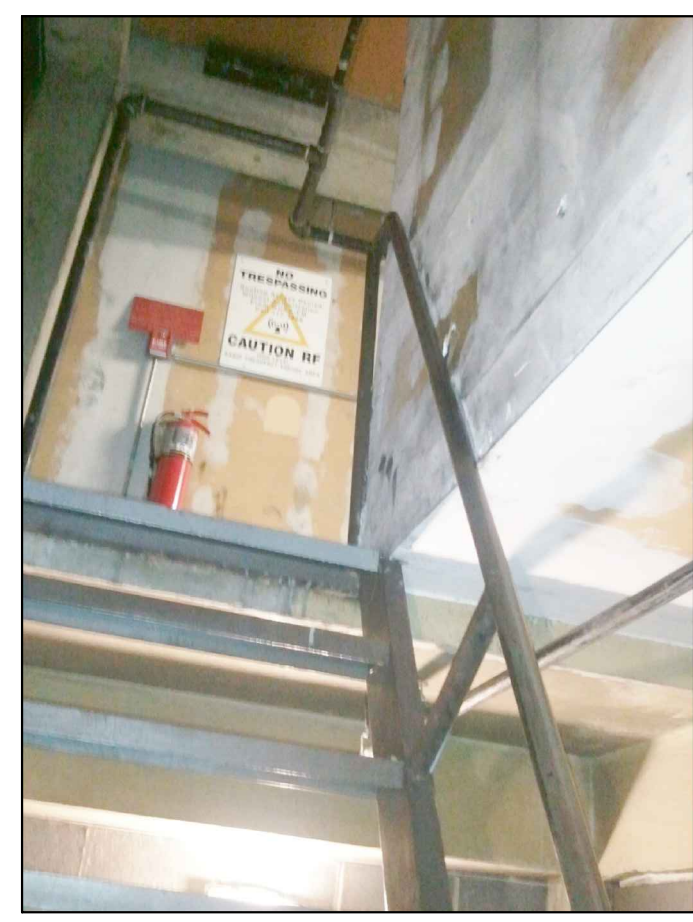


② MACHINE ROOM - SOUTH SIDE

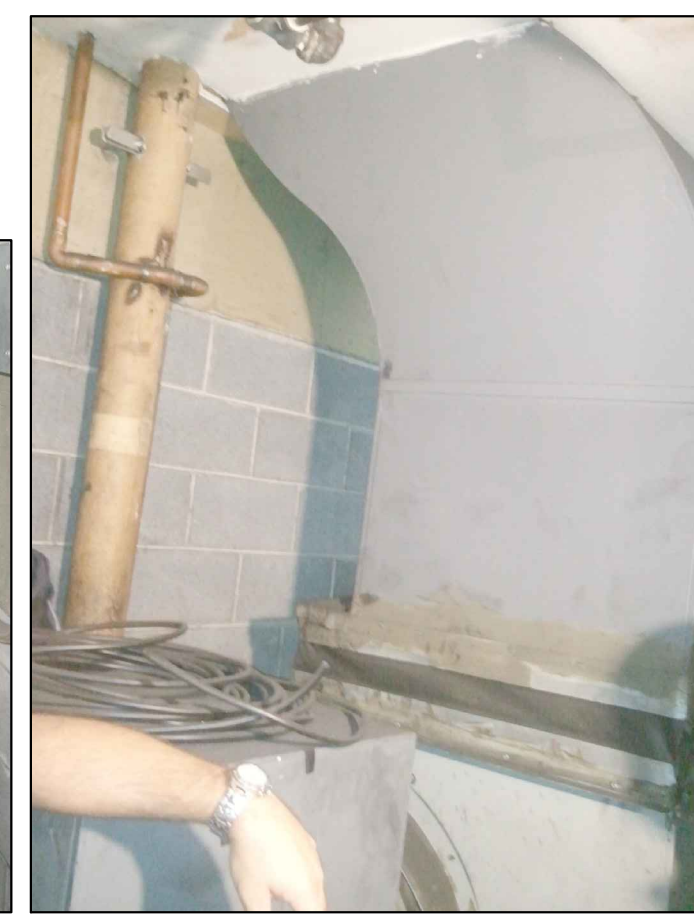


④ MACHINE ROOM - WESTSIDE

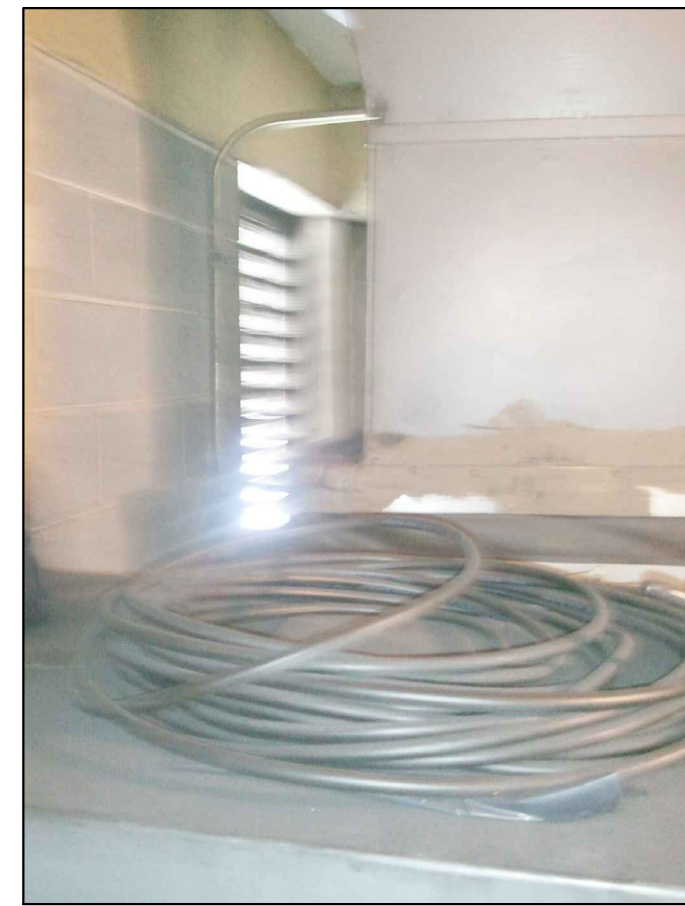
ELEVATOR PENTHOUSE - EXTERIOR



⑤



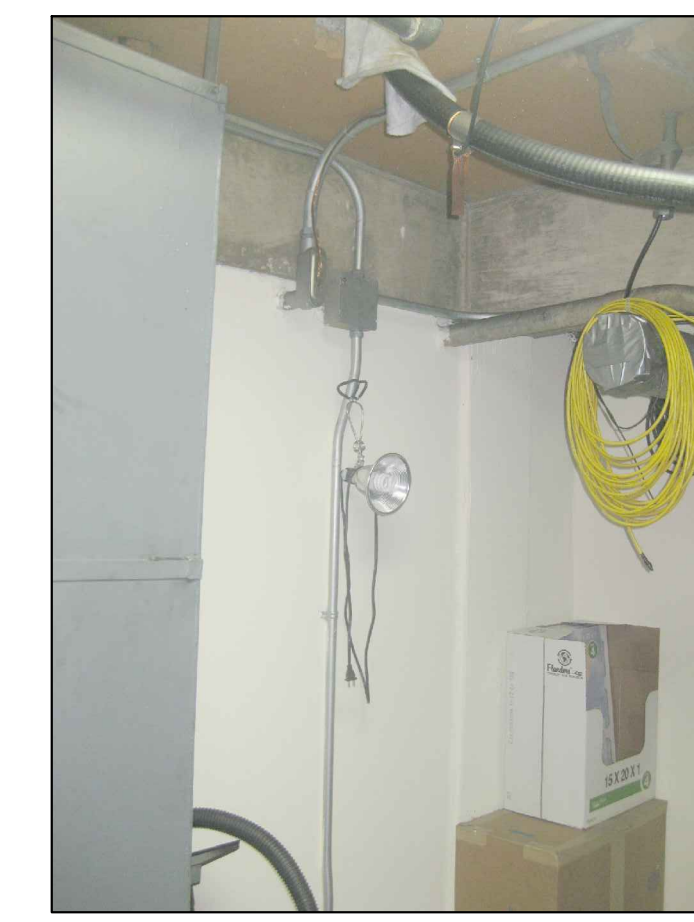
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MECHANICAL ROOM M1201



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⑧



⑨



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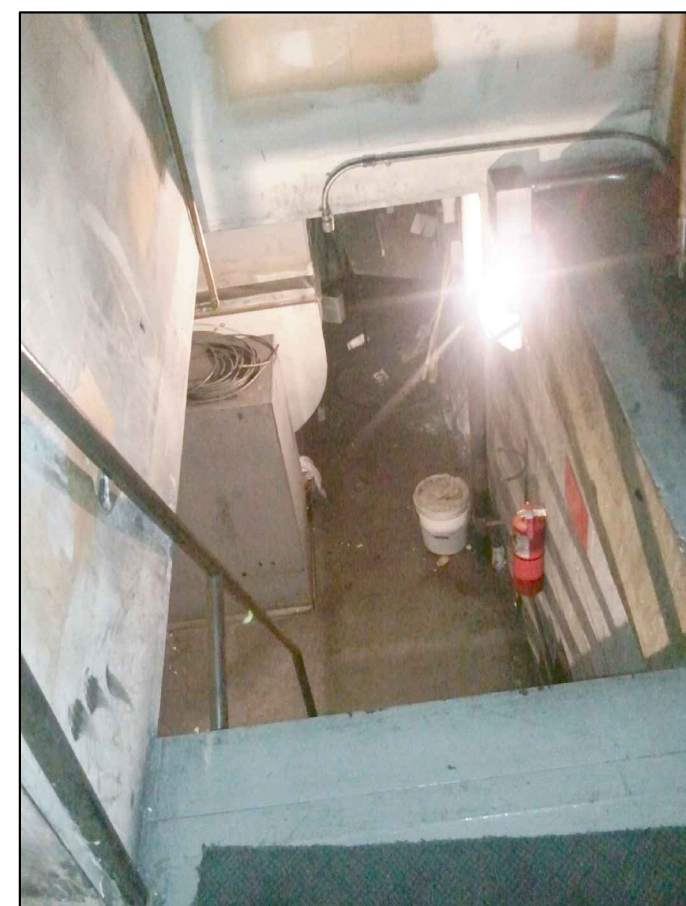


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RADIO EQUIPMENT ROOM - M1302



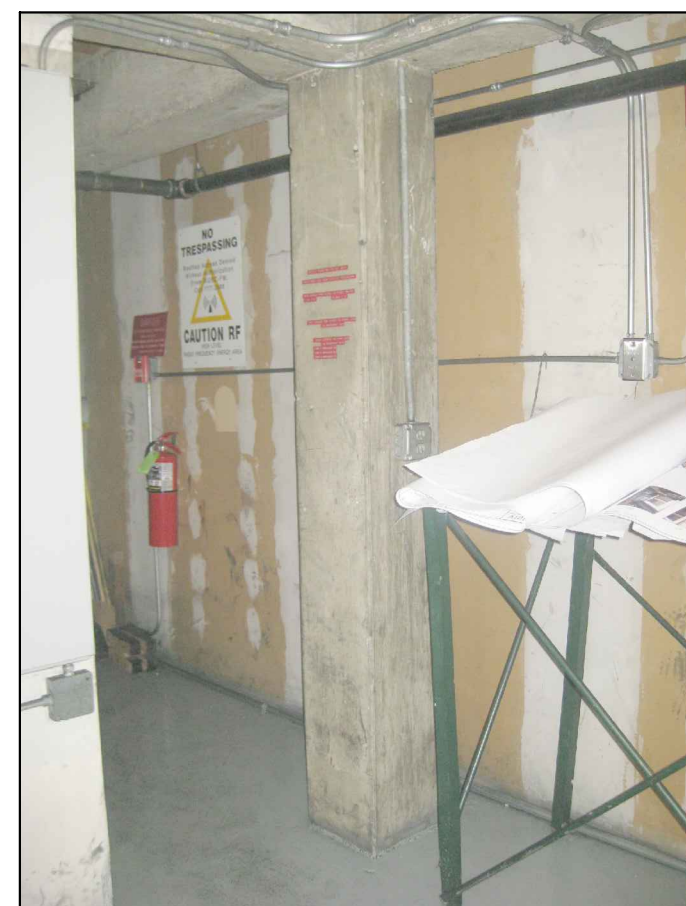
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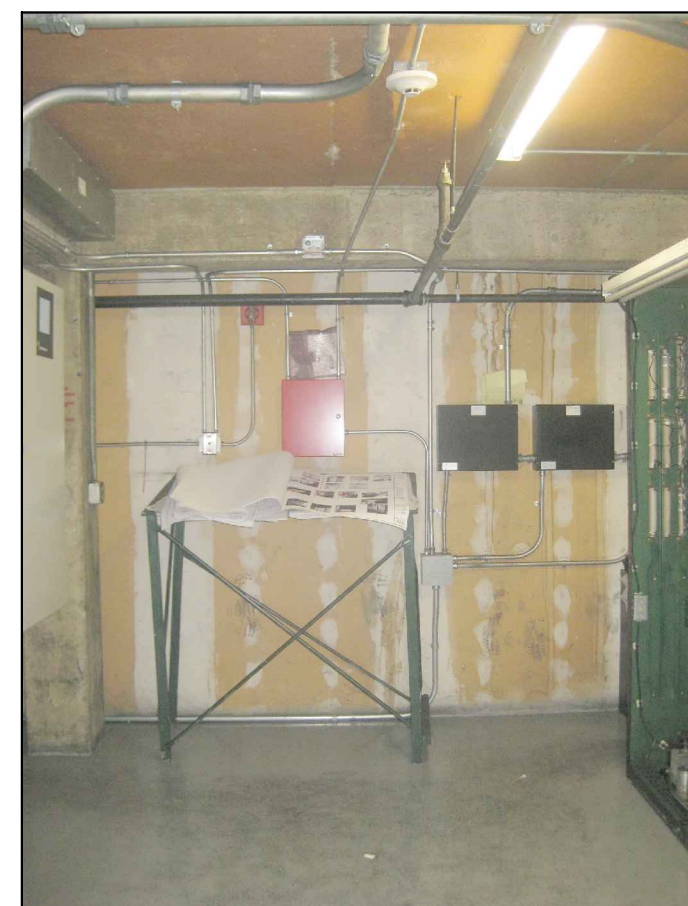
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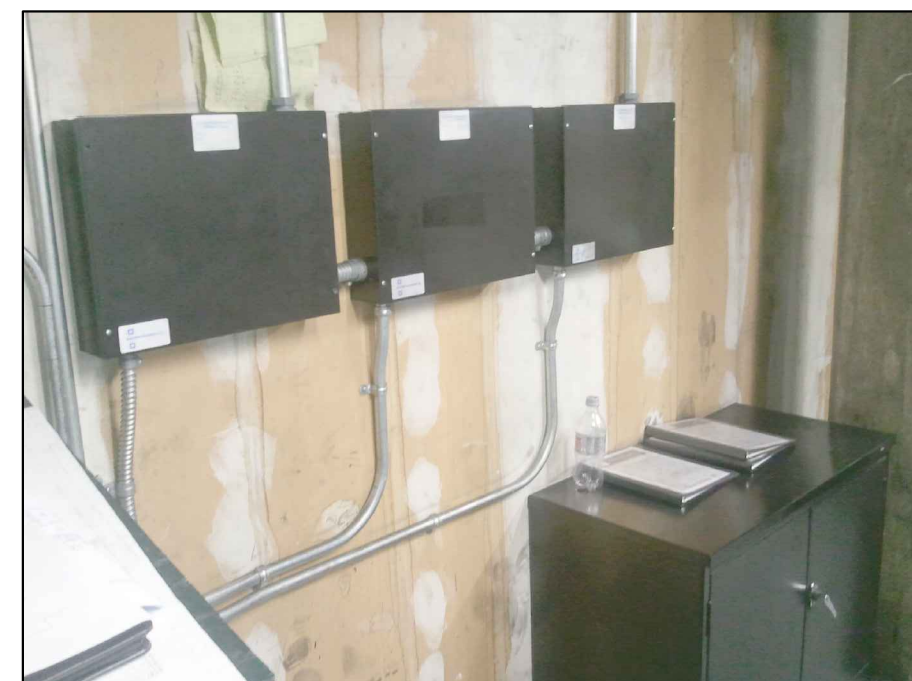
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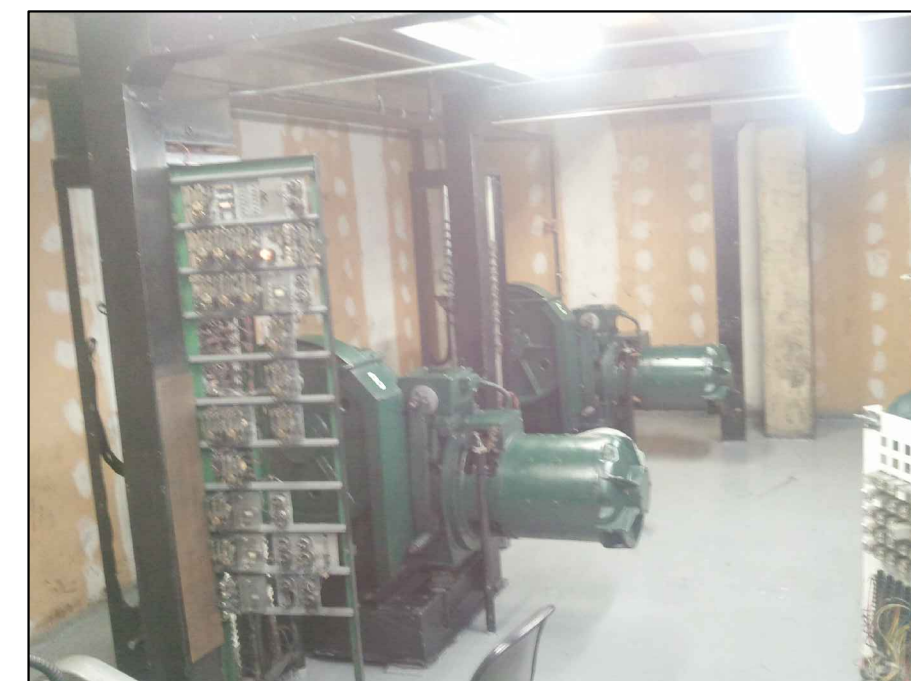
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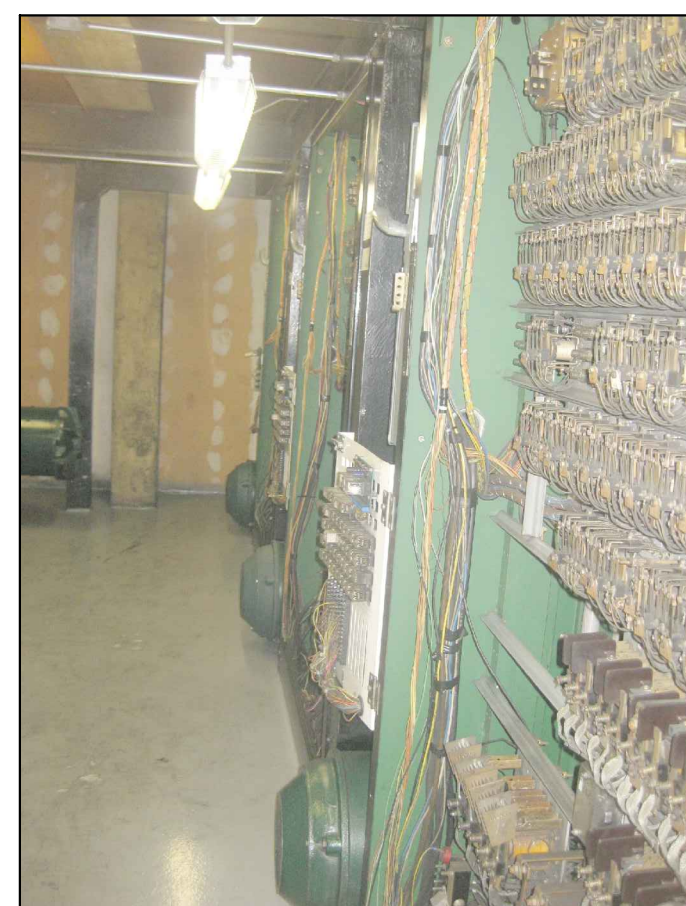
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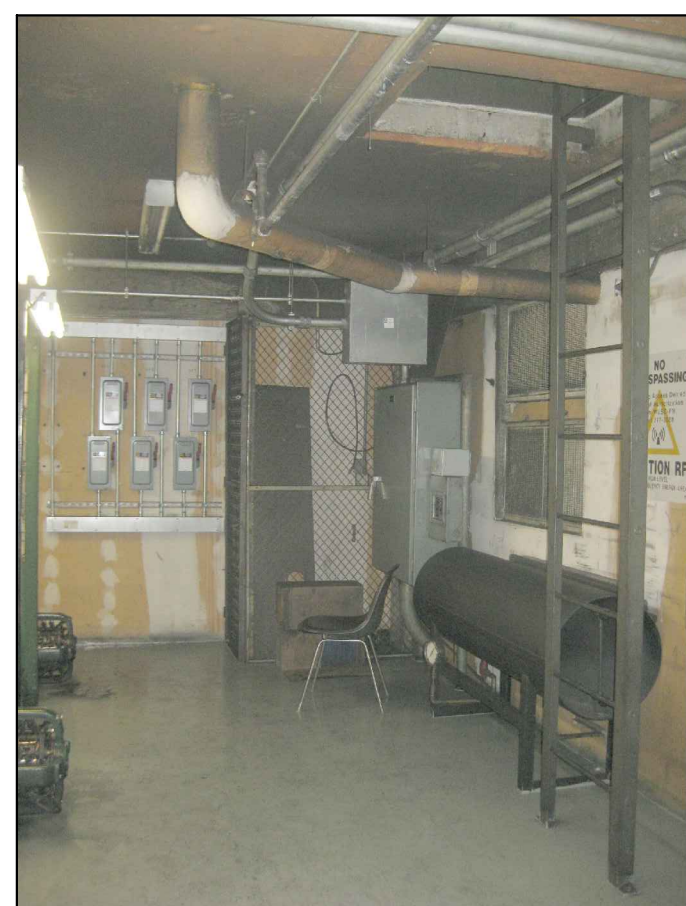
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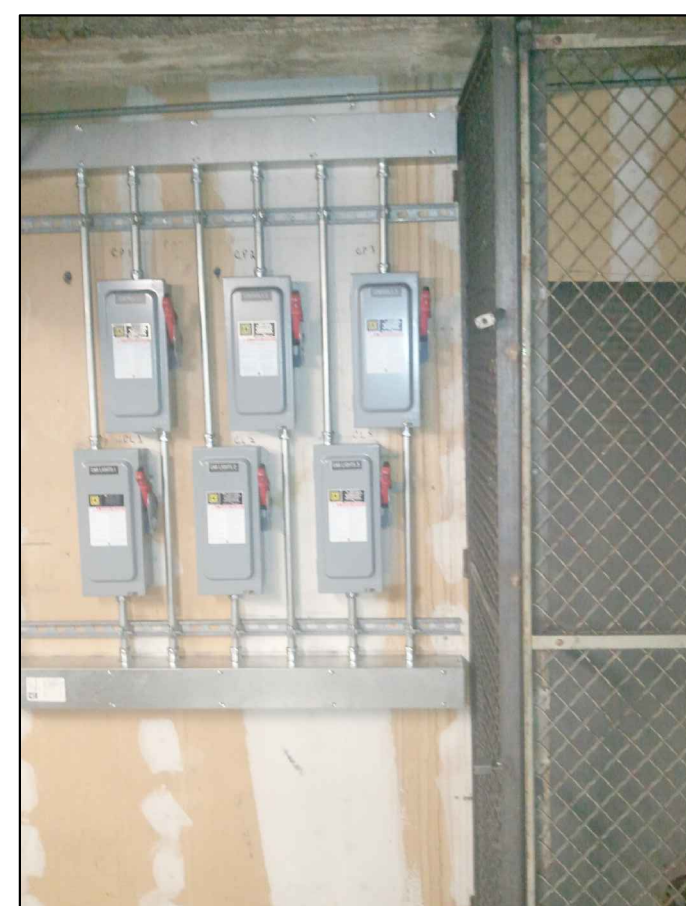
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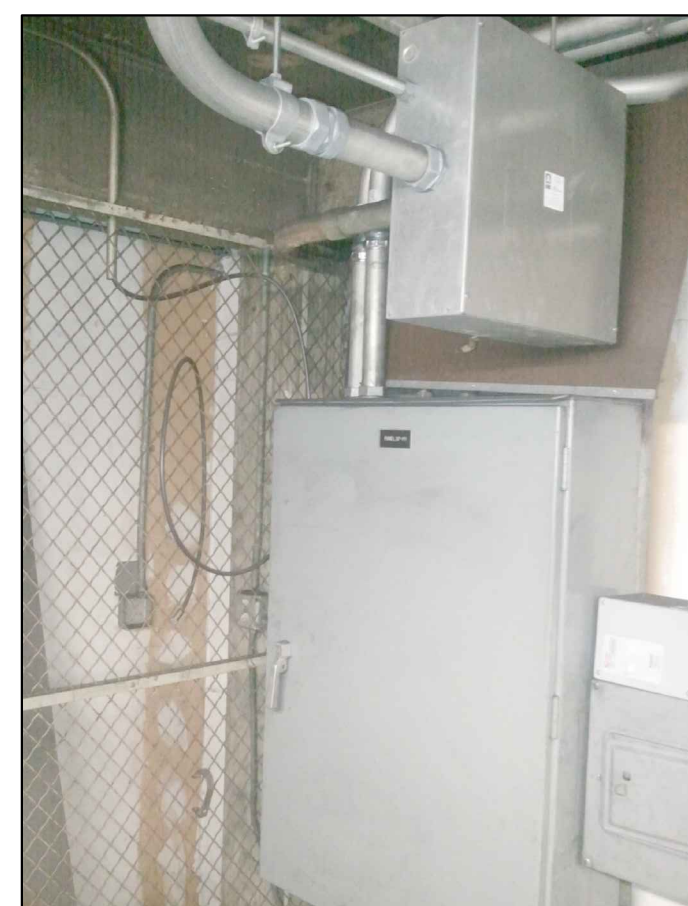
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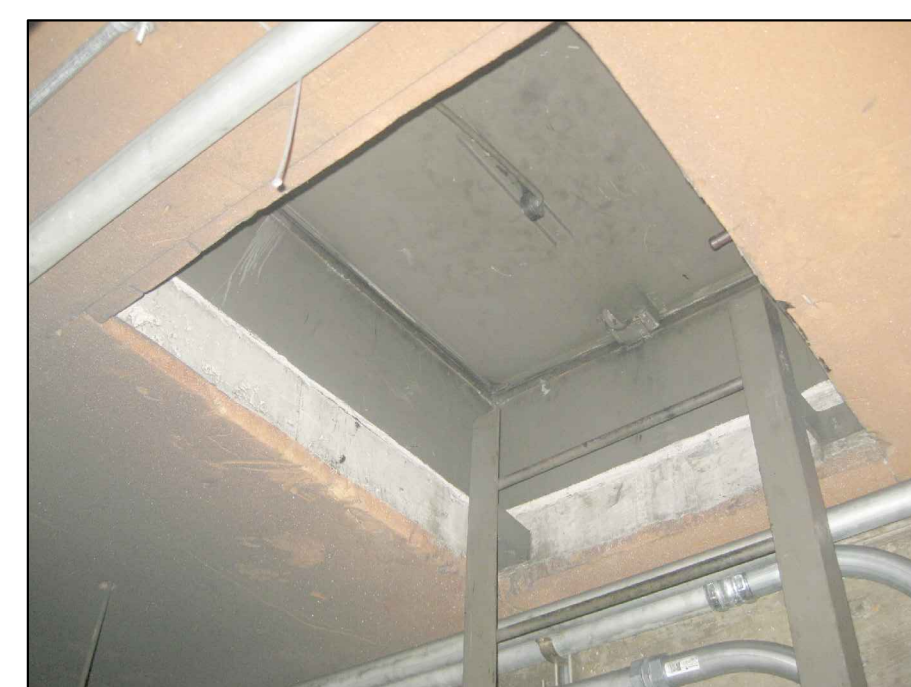
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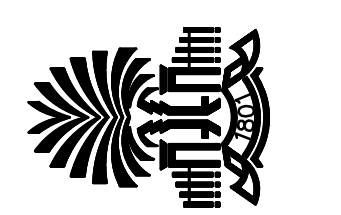
ELEVATOR MACHINE ROOM - M1302

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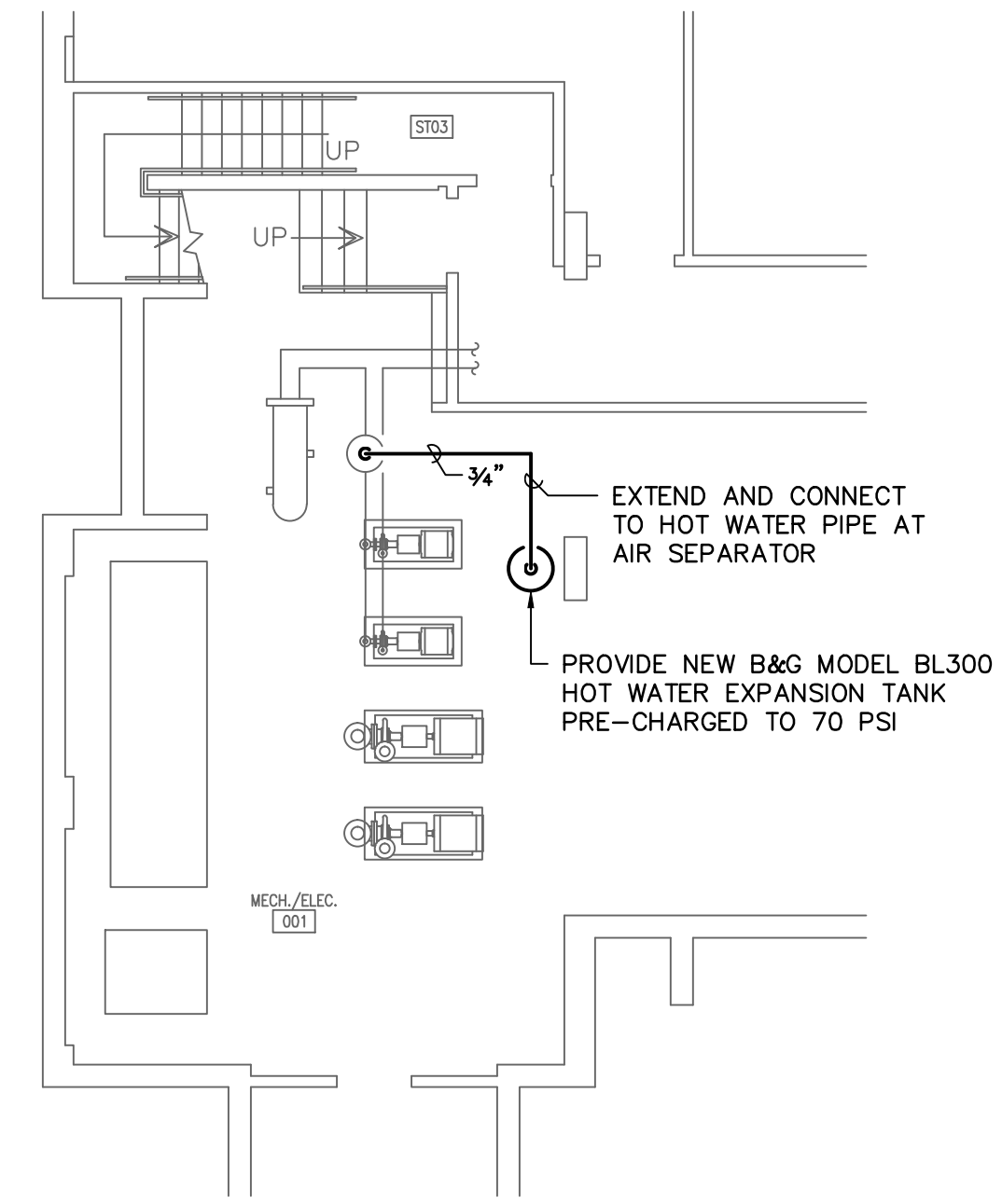
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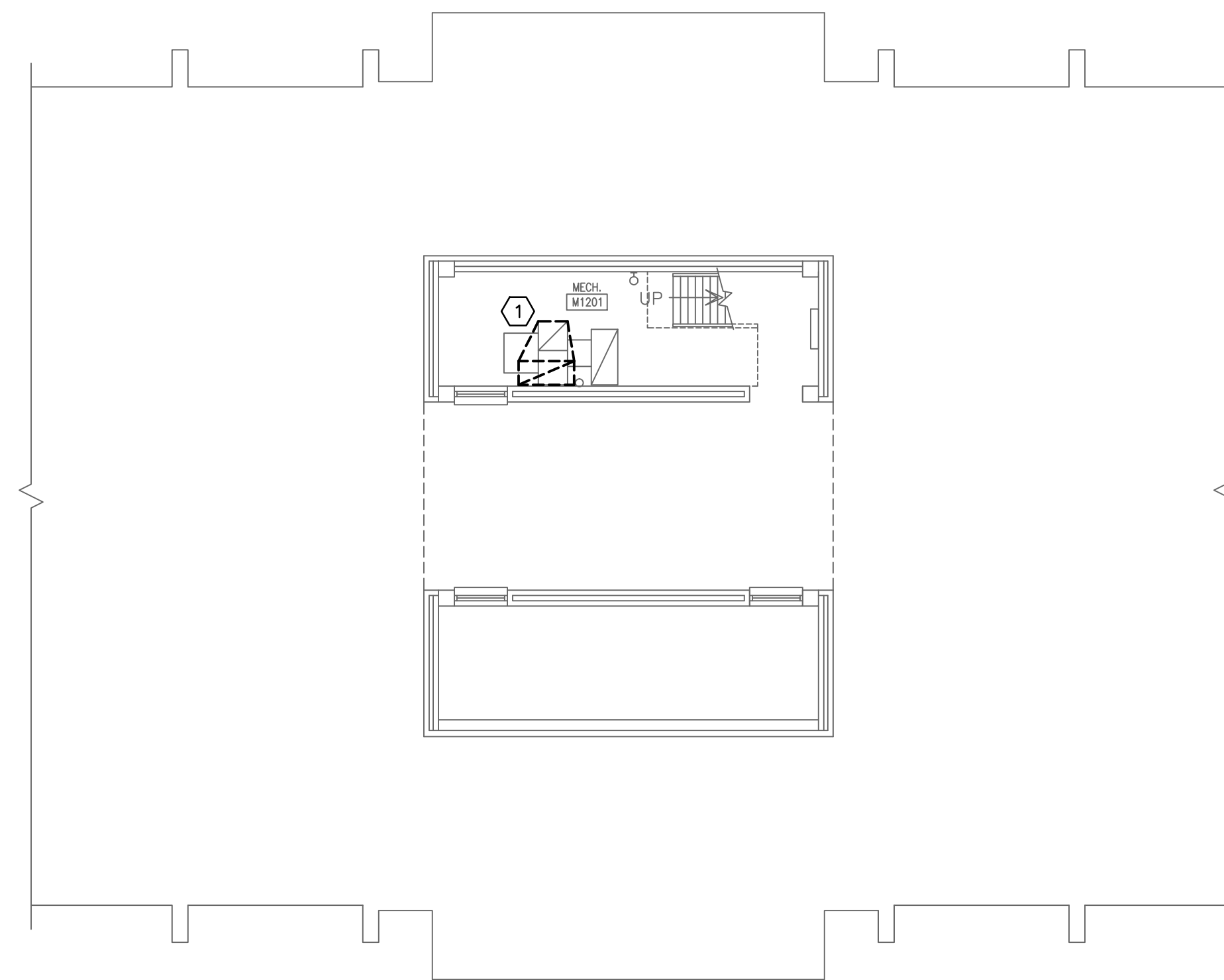
EXISTING
CONDITIONS
PROJECT
PHOTOGRAPHS

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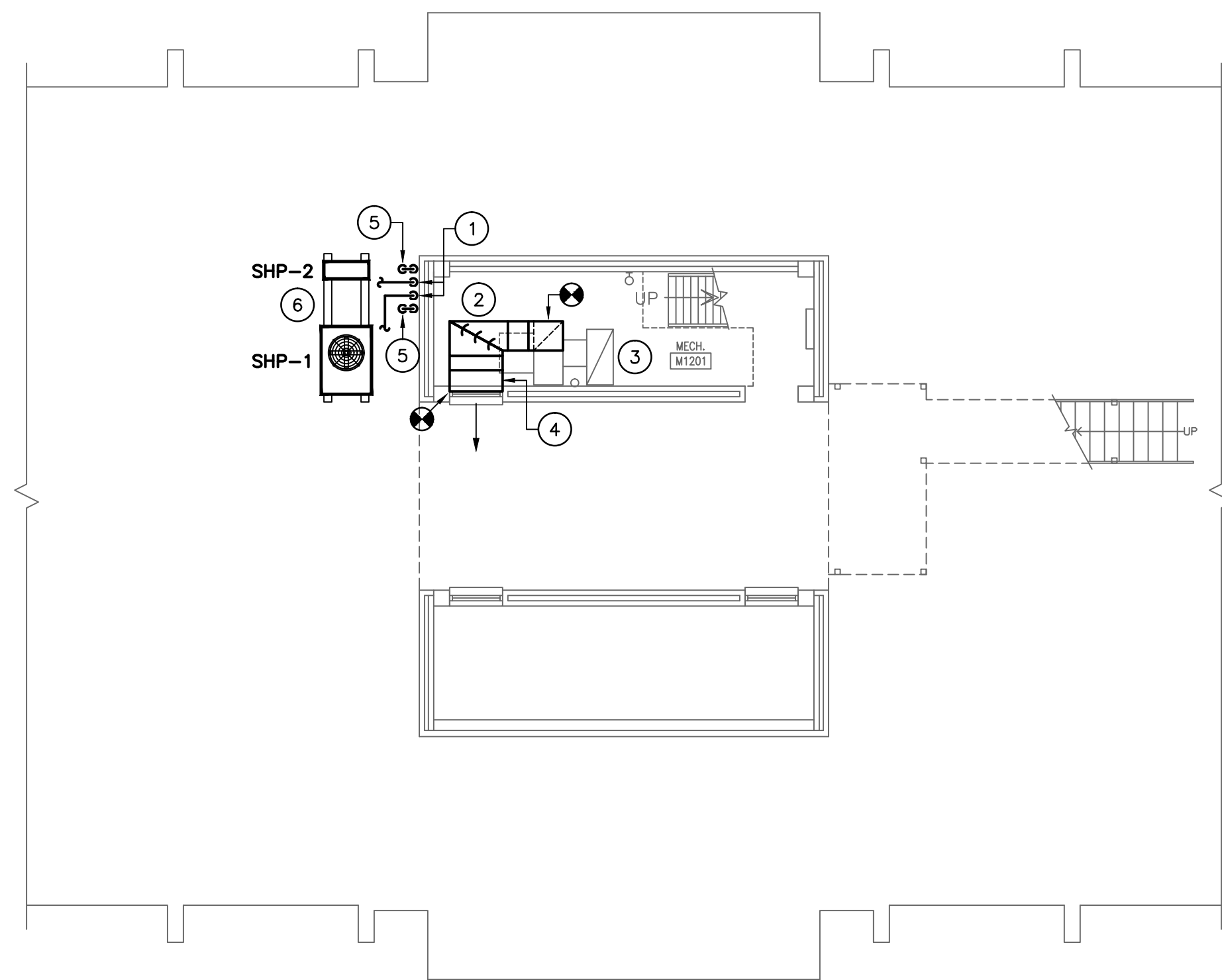
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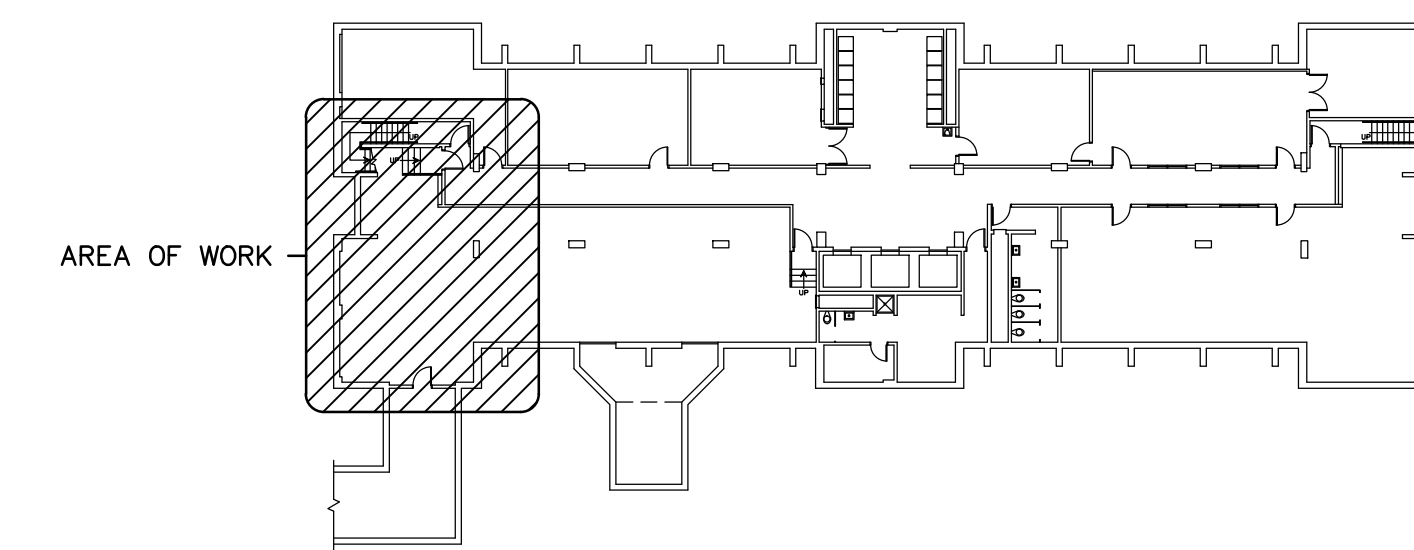
1 PARTIAL BASEMENT PLAN
SCALE: 1/8" = 1'-0"



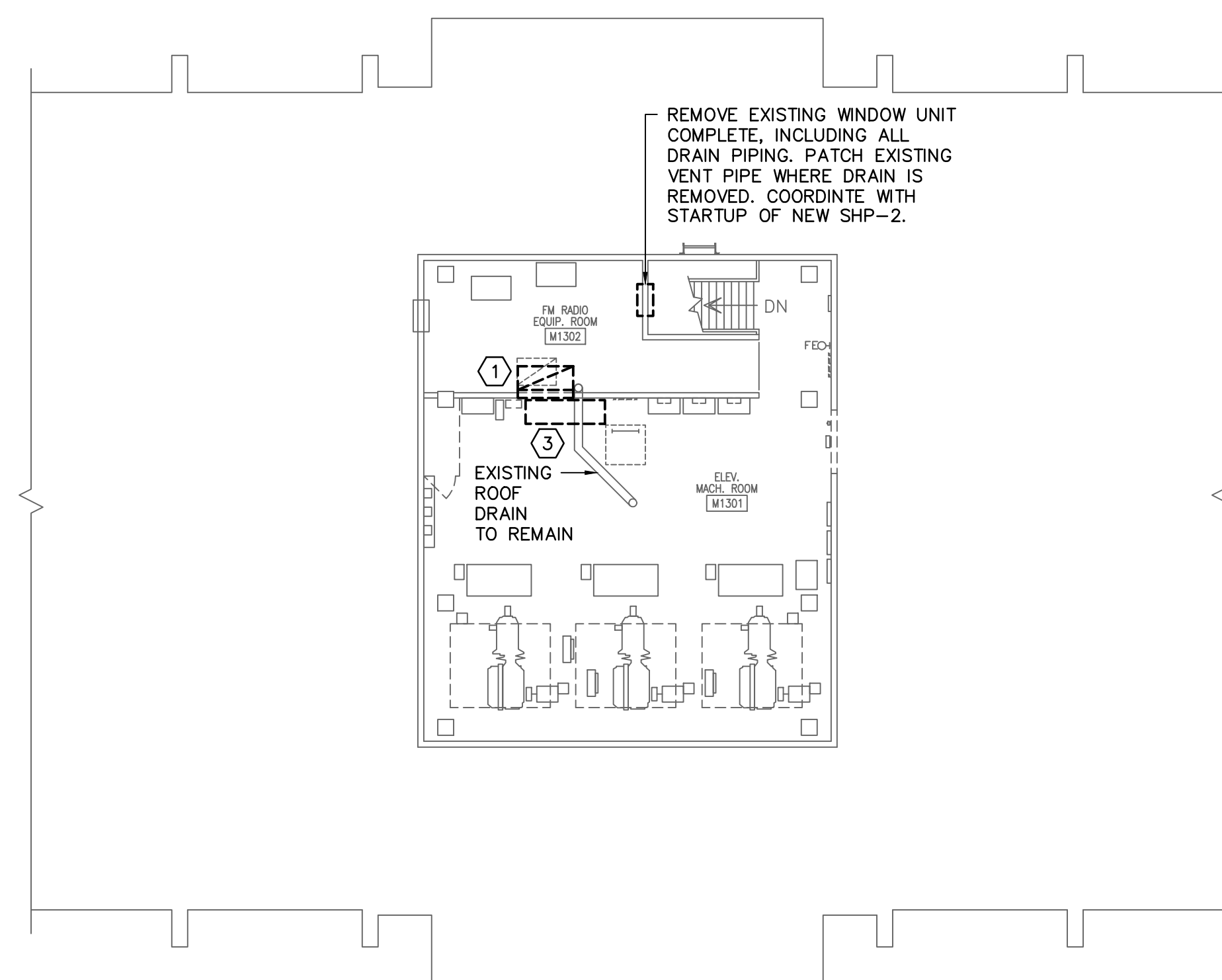
2 PARTIAL ROOF DEMOLITION PLAN
SCALE: 1/8" = 1'-0"



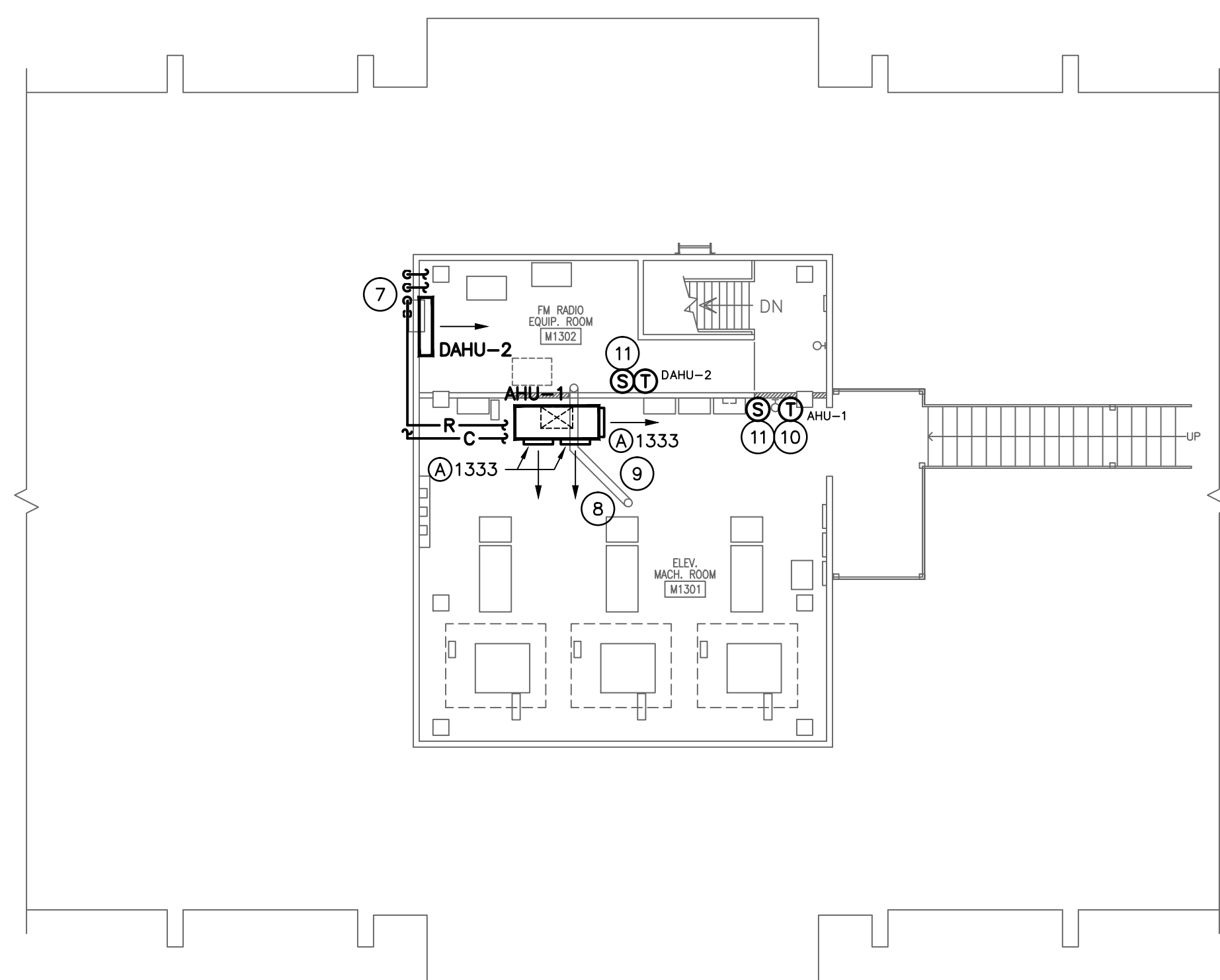
3 PARTIAL ROOF PLAN
SCALE: 1/8" = 1'-0"



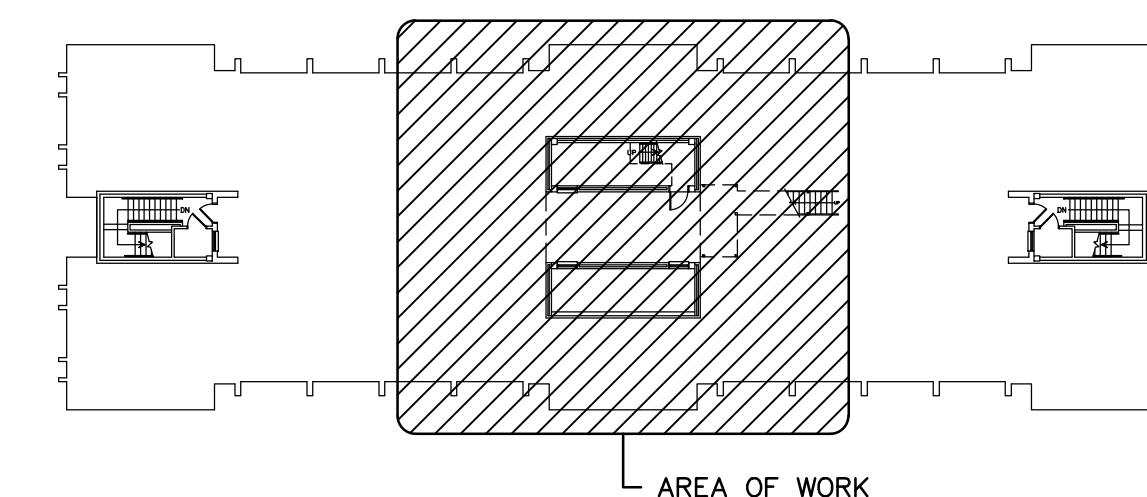
BASEMENT KEY PLAN
NO SCALE



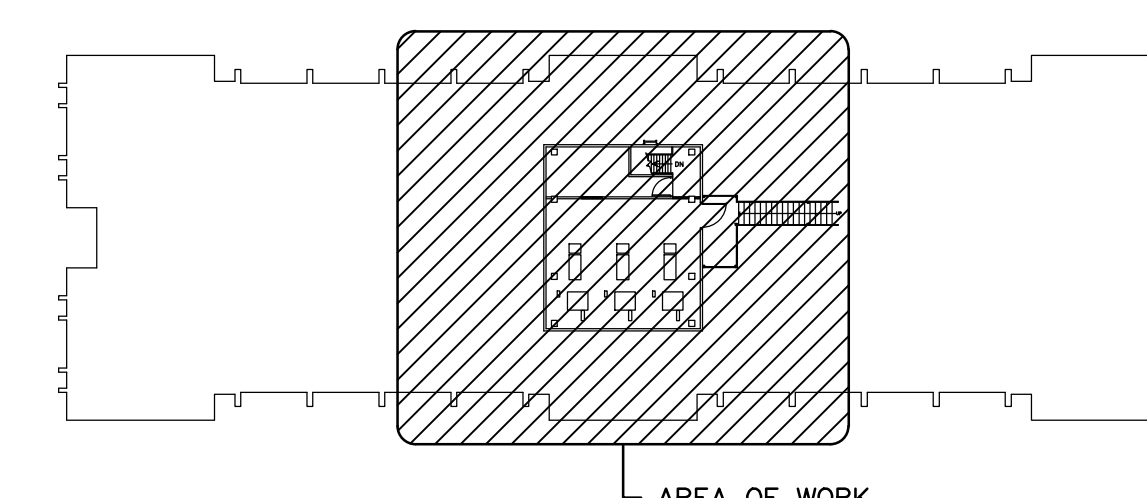
4 PARTIAL PENTHOUSE DEMOLITION PLAN
SCALE: 1/8" = 1'-0"



5 PARTIAL PENTHOUSE PLAN
SCALE: 1/8" = 1'-0"



ROOF KEY PLAN
NO SCALE



PENTHOUSE KEY PLAN
NO SCALE

- DEMOLITION NOTES**
- ① REMOVE EXHAUST DUCT FROM FAN UP THROUGH FLOOR AND COMPLETE TO GRILLE IN ROOM M1301.
 - ② REMOVE EXISTING WINDOW UNIT COMPLETE, INCLUDING ALL DRAIN PIPING. PATCH EXISTING VENT PIPE WHERE DRAIN IS REMOVED.
 - ③ REMOVE COMPRESSION TANK COMPLETE, INCLUDING ALL PIPE DOWN TO MECH. M1201.

- NOTES TO SHEET**
- ① ROUTE TUBING UP WALL.
 - ② CONNECT FAN DISCHARGE TO NEW PLENUM AT LOUVER.
 - ③ EXISTING EXHAUST DUCT UP FROM BELOW TO REMAIN.
 - ④ PROVIDE NEW GALVANIZED METAL PLENUM 12" DEEP BEHIND EXISTING LOUVER.
 - ⑤ DRIP CONDENSATE 12" ABOVE ROOF.
 - ⑥ EQUIPMENT RAIL PER DETAIL, FLASHED BY ROOFING CONTRACTOR.
 - ⑦ CONDENSATE DRAIN AND REFRIGERANT PIPE DROPS DOWN WALL.
 - ⑧ PROVIDE 1" FIBERGLASS INSULATION ON ROOF DRAIN PIPE FROM ROOF DECK TO FLOOR IN ROOM M1302.
 - ⑨ PROVIDE DRAIN PAN UNDER EXISTING ROOF DRAIN. EXTEND FLUSH TO WALL BETWEEN ROOM M1301 AND ROOM M1302. SEE DETAIL ON SHEET M201.
 - ⑩ COORDINATE LOCATION OF THERMOSTAT WITH ELECTRICAL DEVICES IN THIS LOCATION.
 - ⑪ PROVIDE TEMPERATURE SENSOR BY JOHNSON CONTROLS AND CONNECT TO EXISTING METASYS NETWORK TO PROVIDE NOTIFICATION OF HIGH TEMPERATURE ALARM. CONNECT TO NEW DATA OUTLET IN RADIO ROOM. SEE ELECTRICAL PLANS FOR EXACT LOCATION.

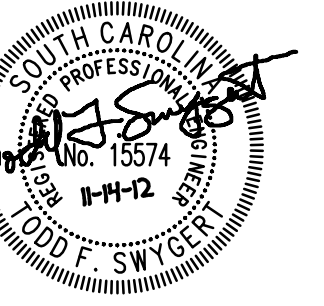
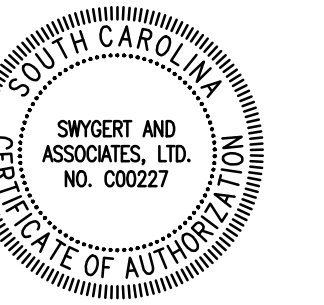
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REVISIONS:

DRAWN BY: DEM

CHECKED BY: WCL

COMM NO: 12109

DATE: NOV. 14, 2012

SHEET TITLE:

FLOOR PLANS

SHEET NO:

M101

Swygert & Associates
CONSULTING ENGINEERS

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mail@swygert-associates.com

| SPLIT SYSTEM HEAT PUMP SCHEDULE | | | | | | | | | | |
|---|---------------------|--|---------------------|-------------|-------------|-----------------|-------------|-----------------|-----------|---------|
| TAG | TRANE MODEL AHU/SHP | COOLING CAP. MBH @ 80/67/95 TOTAL/SENSIBLE | HTG. CAP. MBH @ 47F | AUX. HT. KW | AIRFLOW CFM | OUTDOOR AIR CFM | ESP IN. W.G | INDOOR FAN H.P. | SEER/EEER | REMARKS |
| AHU-1/SHP-1 | TWE120D/TWA120D | 123.6/96.4 | 100.7 | 0 | 4,000 | 0 | 0.1 | 2 | 11.0 | 1,2 |
| 1. PROVIDE SINGLE POINT POWER CONNECTION AT AIR HANDLER, 7-DAY PROGRAMMABLE AUTOMATIC CHANGEOVER THERMOSTAT WITH BATTERY BACKUP, HAIL GUARD AND THERMAL EXPANSION VALVE. 2. PROVIDE WATER SENSOR WIRED TO SHUT DOWN THE UNIT IN CASE OF CONDENSATE OVERFLOW. | | | | | | | | | | |

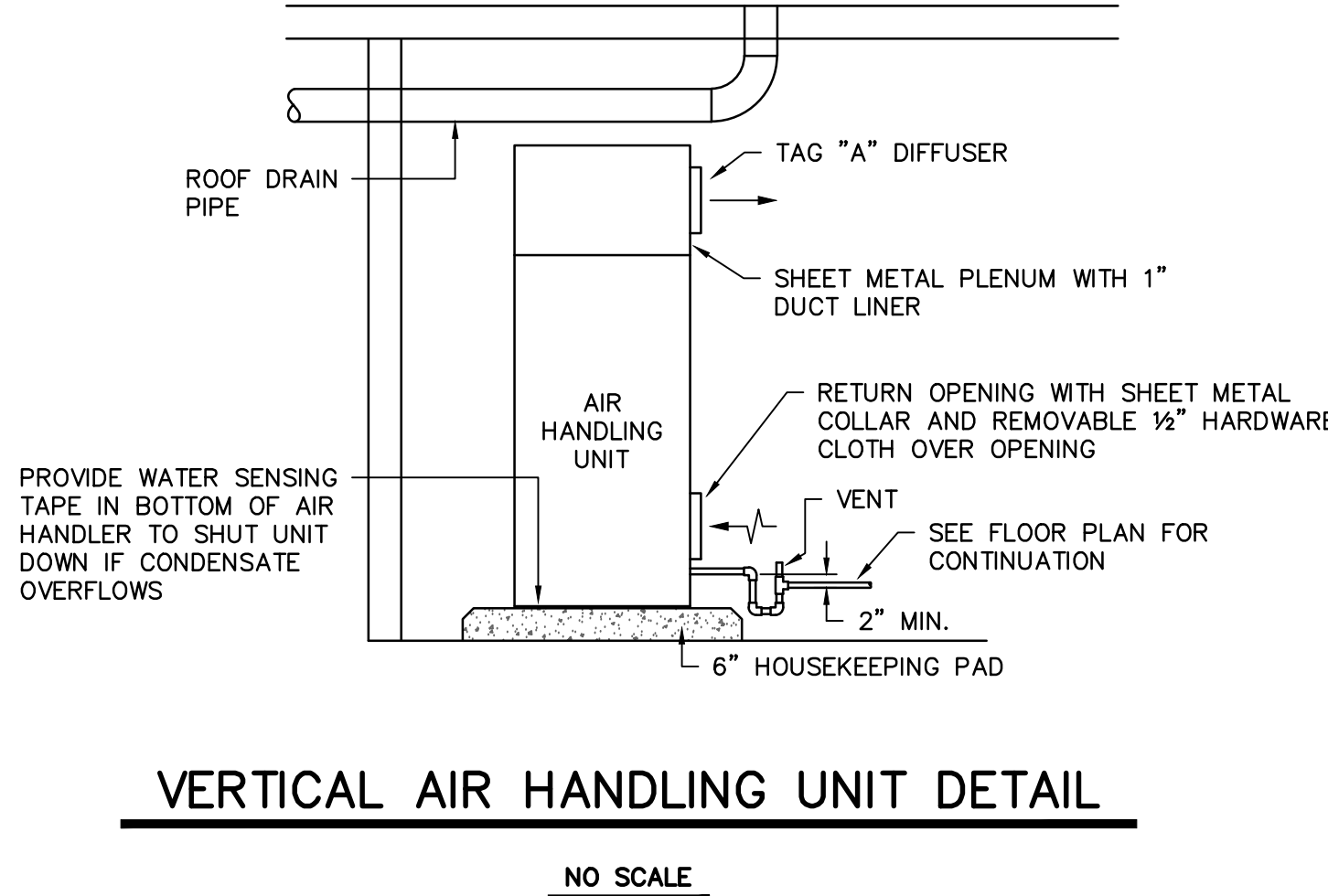
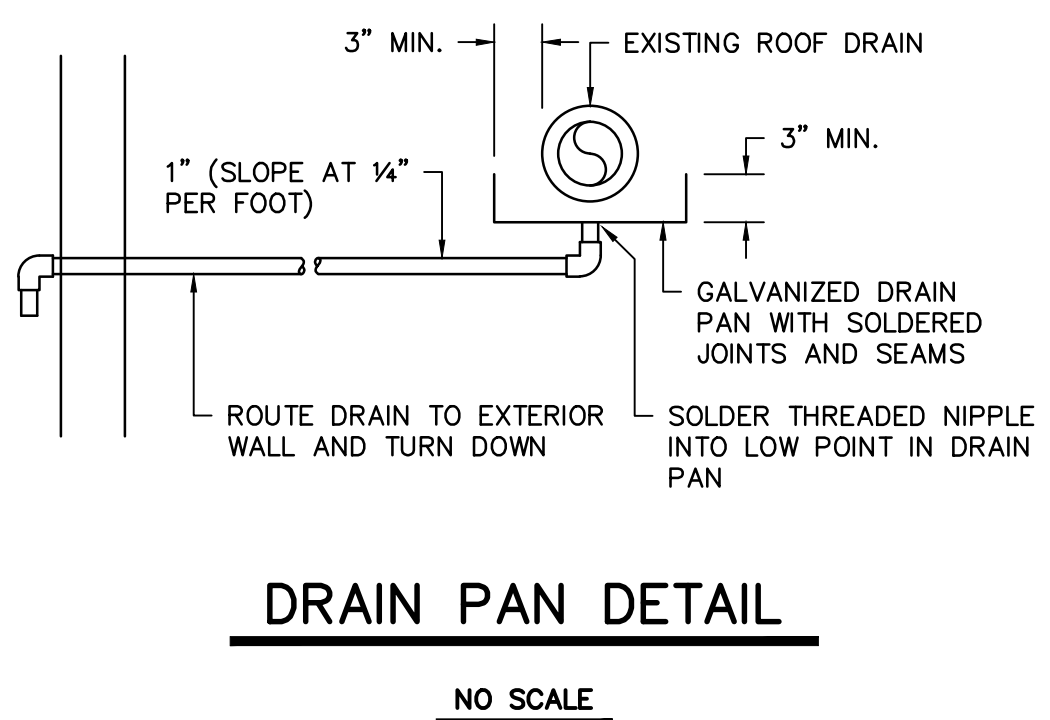
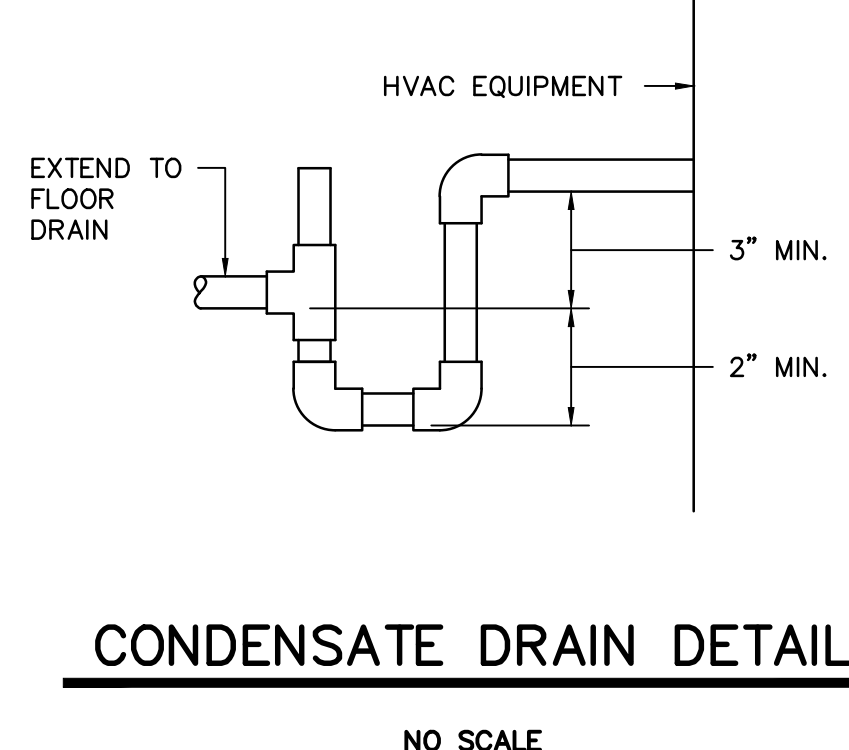
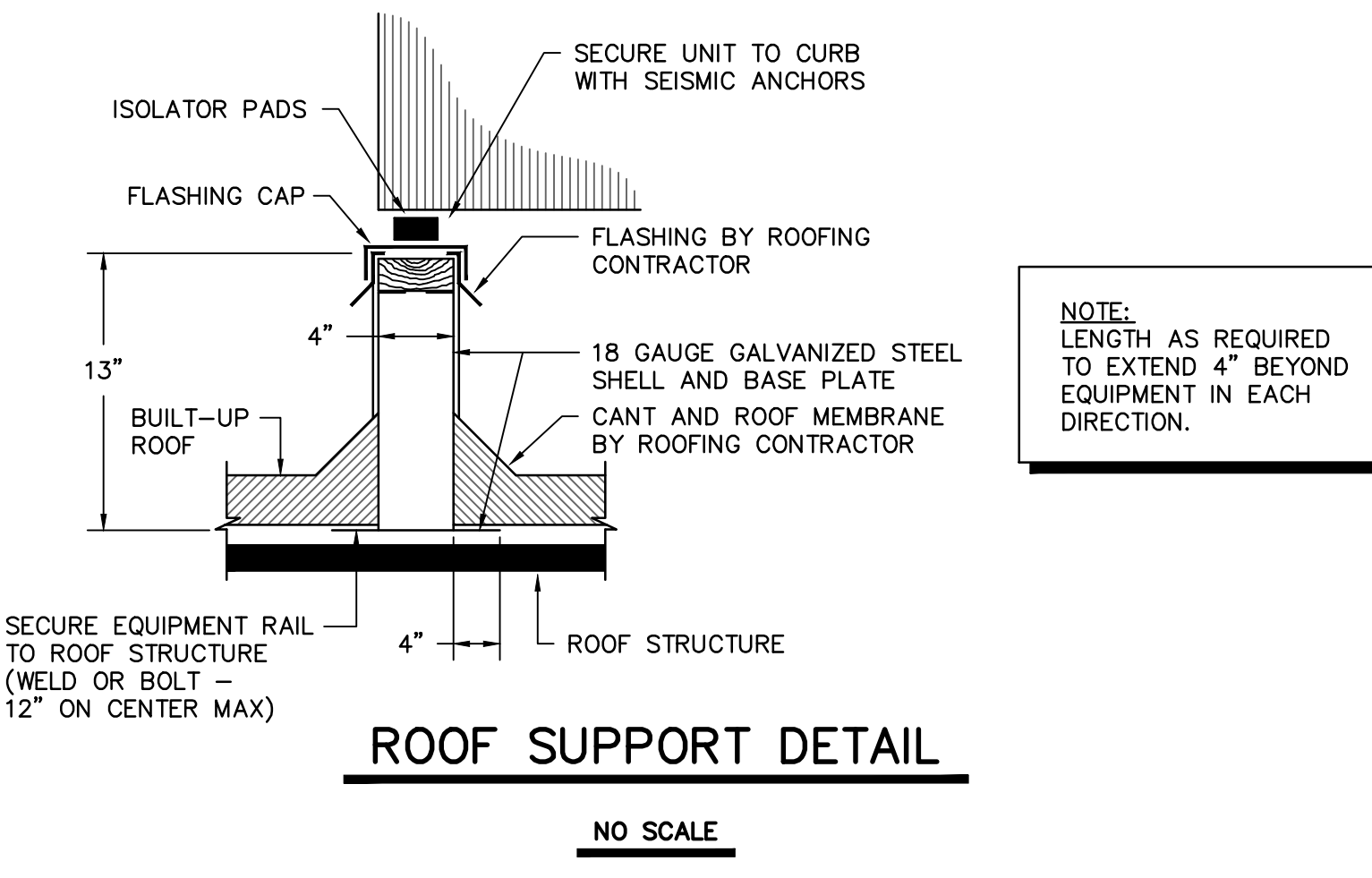
| DUCTLESS SPLIT HEAT PUMP SCHEDULE | | | | | | | |
|---|---------------------------|------------------------------------|---------------------|------|-------|------|---------|
| TAG | MITSUBISHI MODEL DAHU/SHP | COOLING CAP.- MBH @ 80/67/95 TOTAL | HEAT CAP.- MBH @ 47 | CFM | | SEER | REMARKS |
| | | | | O.A. | TOTAL | | |
| SHP-2/DAHU-2 | MS2-GE24NA/MUZ-GE24NA | 22.5 | 27.6 | 0 | 661 | 19.0 | 1 |
| 1. PROVIDE HARD WIRED WALL MOUNTED THERMOSTAT AND INTERNAL CONDENSATE PUMP WITH FLOAT SWITCH TO SHUT DOWN UNIT IN ORDER TO PREVENT CONDENSATE OVERFLOW AND LOW AMBIENT COOLING WITH CRANKCASE HEATER. | | | | | | | |

| AIR DISTRIBUTION SCHEDULE | | | | | | | | | |
|---|-----------------|--------------|-------|---------|------|-----------|-----------|--------|---------|
| TAG | DESCRIPTION | MANUFACTURER | MODEL | FRAME | CFM | NECK SIZE | FACE SIZE | MAX NC | REMARKS |
| (A) | SIDEWALL SUPPLY | PRICE | 620 | SURFACE | 1333 | 20"x14" | 22"x16" | 30 | 1, 2 |
| 1. PROVIDE WITH STANDARD WHITE FINISH. 2. PROVIDE ALUMINUM OR ALUMINIZED STEEL CONSTRUCTION. | | | | | | | | | |

- ### GENERAL NOTES
- VISIT SITE PRIOR TO BIDDING. THIS CONTRACTOR SHALL DETERMINE DIFFICULTY OF INSTALLATION AND REFLECT THIS IN HIS BIDDING.
 - DO NOT SCALE DRAWINGS. THIS CONTRACTOR SHALL VERIFY ALL EXISTING ITEMS AND LOCATIONS IN THE FIELD.
 - ALL PIPING AND DUCTWORK LOCATIONS SHALL BE COORDINATED WITH WORK UNDER OTHER DIVISIONS OF THE SPECIFICATIONS TO AVOID INTERFERENCE.
 - WATER SYSTEMS SHALL BE DRAINED AS REQUIRED FOR INSTALLATION OF WORK. UPON COMPLETION, SYSTEM SHALL BE FILLED WITH WATER AND VENTED OF ALL AIR.
 - ALL PIPING AND DUCTWORK INSULATION SHALL BE RUN CONTINUOUSLY THROUGH FLOORS, ROOFS AND PARTITIONS.
 - ALL MECHANICAL ITEMS EXTENDING THROUGH WALLS AND ROOF SHALL BE FLASHED AND COUNTERFLASHED.
 - ALL PIPING IS SHOWN DIAGRAMMATIC. HOWEVER, THIS CONTRACTOR SHALL PROVIDE ALL REQUIRED FITTINGS, PIPING AND INSULATION FOR ALL OFFSETS AND/OR CHANGES IN ELEVATION.
 - EXTEND ALL DRAIN LINES TO NEAREST FLOOR DRAIN OR AS INDICATED - SO ROUTED AS TO AVOID INTERFERENCE WITH PASSAGEWAYS AND MAINTENANCE. DRAINS FROM AIR HANDLING UNITS SHALL BE TRAPPED PER STATIC PRESSURE REQUIREMENTS.
 - ALL PIPING SHALL BE SUPPORTED IN ACCORDANCE WITH THE SPECIFICATIONS AND FURTHER SUPPORTS OR HANGERS SHALL BE PROVIDED TO PREVENT WEIGHT OF PIPING BEING PLACED ON EQUIPMENT.
 - ALL OPEN END DUCTS SHALL HAVE 1/2-INCH MESH GALVANIZED SCREEN IN REMOVABLE FRAME.
 - ALL ITEMS OF EQUIPMENT IN MECHANICAL ROOM AND ON GRADE SHALL BE LOCATED ON REINFORCED CONCRETE FOUNDATIONS, MINIMUM 6-INCH THICK OR AS DETAILED ON THESE PLANS AND SPECIFICATIONS AND 6 INCHES LARGER THAN EQUIPMENT IN EACH DIRECTION. PADS SHALL BE REINFORCED PER THE HOUSEKEEPING PAD SECTION OF THE ASHRAE PRACTICAL GUIDE FOR SEISMIC RESTRAINT. ALL UNITS SHALL BE SECURED TO THE HOUSEKEEPING PADS WITH SEISMIC RESTRAINTS. PROVIDE 1-INCH CHAMFERS ON ALL SIDES.
 - PROVIDE FOR ACCESS TO ALL EQUIPMENT REQUIRING CLEANING OR ADJUSTMENT.
 - THIS CONTRACTOR SHALL PROVIDE ALL ITEMS OF MISCELLANEOUS STEEL AS REQUIRED FOR INSTALLATION OF ALL MECHANICAL ITEMS.
 - THIS CONTRACTOR SHALL DO ALL CONTROL WIRING. DIVISION 26 WILL DO ALL POWER WIRING. ALL WIRING SHALL BE IN ACCORDANCE WITH NATIONAL ELECTRIC CODE. CONTROL WIRING SHALL BE CONCEALED WITHIN WALL.
 - LOCATE ALL SPACE CONTROL INSTRUMENTS 4'-0" ABOVE FINISHED FLOOR.
 - THIS CONTRACTOR SHALL BE RESPONSIBLE FOR ANY NECESSARY DISMANTLING OF EQUIPMENT TO BE REMOVED. ITEMS REMOVED UNDER THIS CONTRACT SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF PROPERLY.
 - THE HVAC SYSTEMS SHALL NOT BE OPERATED DURING HEAVY CONSTRUCTION OPERATIONS INCLUDING MASONRY, GYPSUM BOARD SANDING, HEAVY CLEANUP ACTIVITIES, OR OTHER ACTIVITIES THAT CREATE AIRBORNE PARTICLES OR DEBRIS. ALL SYSTEMS SHALL BE CLEAN OF CONSTRUCTION DEBRIS, DUST AND DIRT AT FINAL COMPLETION. DUCT CLEANING AND UNIT/COIL CLEANING SHALL BE PERFORMED IF REQUIRED.

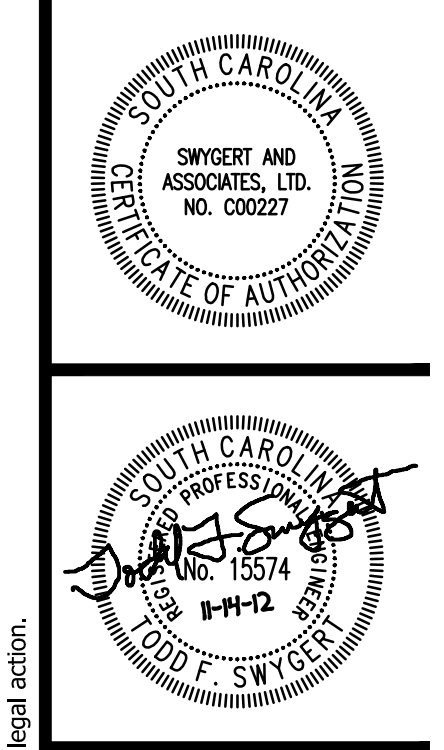
LEGEND

| SYMBOL | DESCRIPTION |
|--------|-------------------------------------|
| | REFRIGERANT LINES |
| | DRAIN LINE |
| | PIPE TURNS TO, AWAY |
| | TYPE "A" DIFFUSER, 100 CFM |
| | THERMOSTAT |
| | RECTANGULAR SUPPLY DUCTWORK |
| | RETURN, EXHAUST, FRESH AIR DUCTWORK |
| | CONNECTION POINT OF NEW TO EXISTING |



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REVISIONS:

DRAWN BY: DEM
CHECKED BY: WCL
COMM NO: 12109
DATE: NOV. 14, 2012
SHEET TITLE:

DETAILS, NOTES, SCHEDULES, AND LEGEND

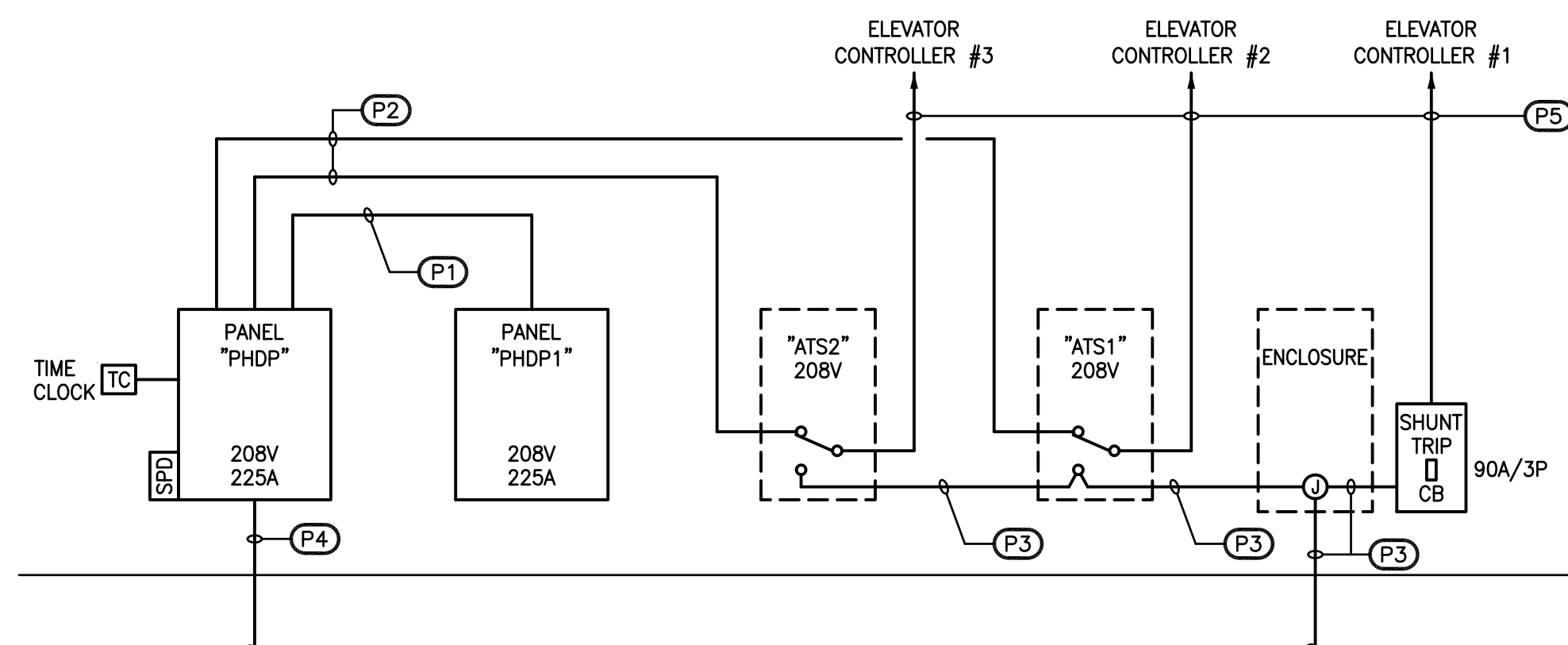
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CONSULTING ENGINEERS

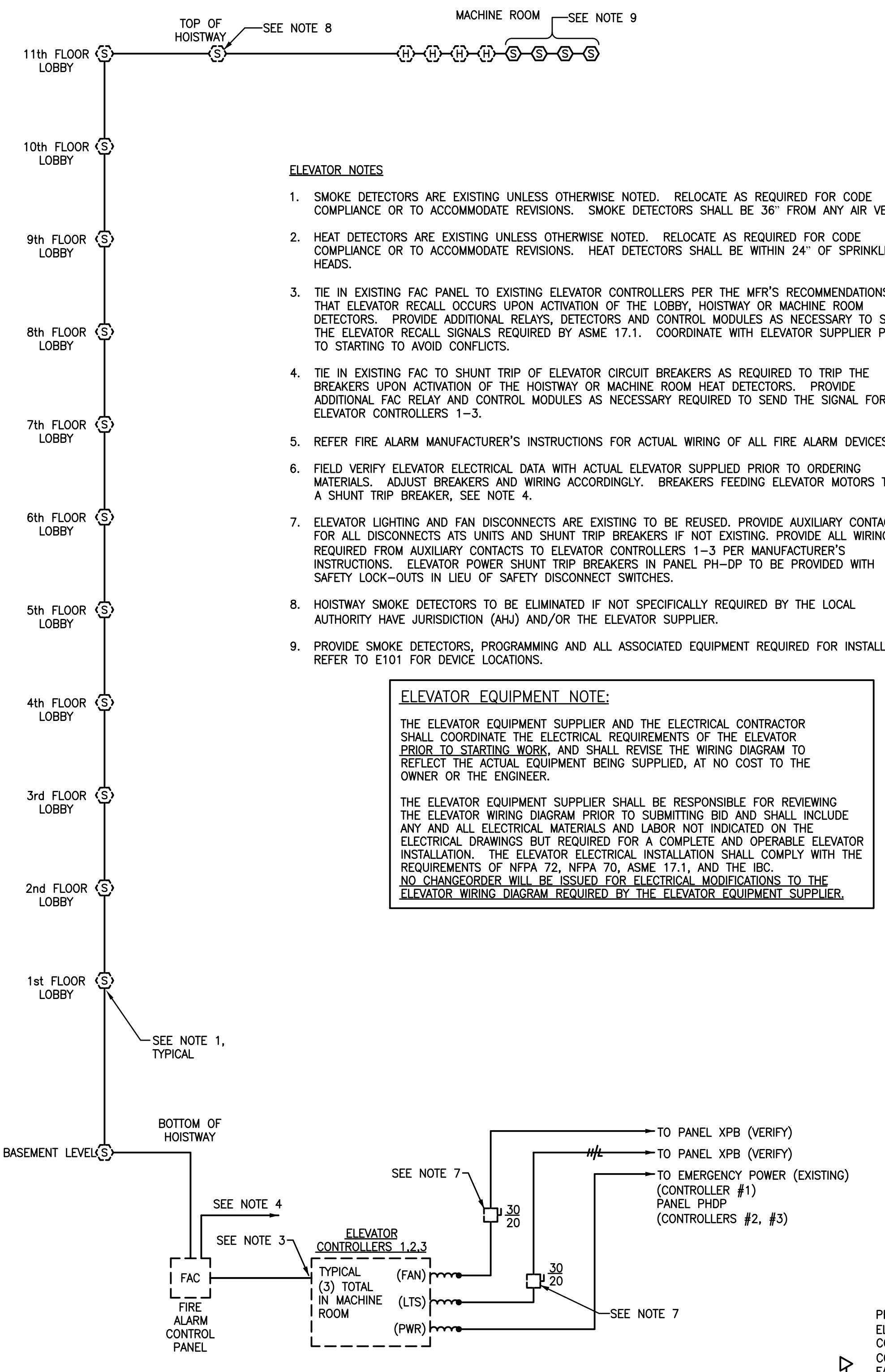
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| PANEL "PHDP" | | | | | | | | | | ELEV. MACH. ROOM | |
|-----------------------|--------------|-----------|------------------|--------------------------|-------------|-----------------------|-----------------------------|--------------|---------|------------------|--|
| SQUARE D TYPE: L-LINE | | AMPS: 225 | | MAIN: MAIN LUGS (BOTTOM) | | No. of Ckts 42 | | | | | |
| VOLTS (L-L): 208 | | L-N: 120 | | GND: GROUND BUS | | MOUNTING: SURFACE | | | | | |
| PHASE: 3 | | WIRE: 4 | | AIC: 25K | | ENCLOSURE: NEMA 1 | | | | | |
| CKT No. | CKT BKR TYPE | LOAD TYPE | LOAD DESCRIPTION | LOAD KVA | PH | LOAD DESCRIPTION | LOAD TYPE | CKT BKR TYPE | CKT No. | | |
| 1 | 90/3 | MISC | ELEVATOR #2 | 16.70 | A | ELEV. ROOM LTG / REC. | LTG | | 20/1 | | |
| 3 | | | | | B | FAC | MISC | | 4 | | |
| 5 | | | | | C | SPARE | | | 6 | | |
| 7 | | | SHUNT TRIP | | A | | | | 8 | | |
| 9 | 90/3 | MISC | ELEVATOR #3 | 16.70 | B | | | | 10 | | |
| 11 | | | | | C | | | | 12 | | |
| 13 | | | | | A | | | | 14 | | |
| 15 | | | SHUNT TRIP | | B | | | | 16 | | |
| 17 | 60/3 | MISC | SHP-1 | 12.20 | A | | | | 18 | | |
| 19 | | | | | B | | | | 20 | | |
| 21 | | | | | A | | | | 22 | | |
| 23 | 15/3 | MISC | AHU-1 | 2.25 | C | SPACE | SPC | | 24 | | |
| 25 | | | | | A | | | | 26 | | |
| 27 | | | | | B | | | | 28 | | |
| 29 | | | SPACE | | C | | | | 30 | | |
| 31 | | | | | A | | | | 32 | | |
| 33 | | | | | B | | | | 34 | | |
| 35 | | | | | C | | | | 36 | | |
| 37 | | | | | A | SPD | | | 30/3 | | |
| 39 | | | | | B | | | | 40 | | |
| 41 | | | | | C | | | | 42 | | |
| TOTAL KVA: 69.28 | | | | LTG 1.30 | AH 0.00 | KIT 0.00 | COOLING DEMAND (KVA): 45.36 | | | | |
| TOTAL AMPS: 192.30 | | | | REC 0.00 | PR 0.00 | WH 0.00 | HEATING DEMAND (KVA): 45.36 | | | | |
| | | | | AC/HP 0.00 | 2nd HT 0.00 | MISC 67.98 | 125% DEMAND AMPS: 157.37 | | | | |

| PANEL "PHDP1" | | | | | | | | | | ELEV. MACH. ROOM | |
|-------------------|--------------|-----------|------------------|----------------------------|-------------|----------------------------|-----------------------------|--------------|---------|------------------|--|
| SQUARE D TYPE: NO | | AMPS: 225 | | MAIN: MAIN LUGS ONLY (TOP) | | No. of Ckts 42 | | | | | |
| VOLTS (L-L): 208 | | L-N: 120 | | GND: GROUND BUS | | MOUNTING: SURFACE | | | | | |
| PHASE: 3 | | WIRE: 4 | | AIC: 25K | | ENCLOSURE: NEMA 1 | | | | | |
| CKT No. | CKT BKR TYPE | LOAD TYPE | LOAD DESCRIPTION | LOAD KVA | PH | LOAD DESCRIPTION | LOAD TYPE | CKT BKR TYPE | CKT No. | | |
| 1 | 60/2 | MISC | TRANSMITTER | 7.28 | A | 0.50 LIGHTING RADIO ROOM | LTG | | 20/1 | | |
| 3 | | | | | B | 0.80 RECEPTACLE RADIO ROOM | REC | | 4 | | |
| 5 | 20/1 | REC | RACK RECEPTACLE | 1.50 | C | 0.50 LIGHTING ROOF | LTG | | 6 | | |
| 7 | 20/1 | REC | RACK RECEPTACLE | 1.50 | A | 0.80 RECEPTACLE ROOF | REC | | 8 | | |
| 9 | 20/2 | AC/HP | A/C | 2.00 | B | 0.20 RECEPTACLE TELEPHONE | REC | | 10 | | |
| 11 | | | | | C | 0.20 RECEPTACLE ROOF | | | 12 | | |
| 13 | 20/2 | AC/HP | SHP-2 | 1.85 | A | | | | 14 | | |
| 15 | | | | | B | | | | 16 | | |
| 17 | 20/1 | | SPARE | | C | | | | 18 | | |
| 19 | 20/1 | | SPARE | | A | | | | 20 | | |
| 21 | 20/1 | | SPARE | | B | | | | 22 | | |
| 23 | 20/1 | | SPARE | | C | | | | 24 | | |
| 25 | 15/3 | MISC | EXHAUST FAN | 1.00 | A | | | | 26 | | |
| 27 | | | | | B | | | | 28 | | |
| 29 | | | | | C | | | | 30 | | |
| 31 | 15/3 | MISC | EXHAUST FAN | 1.00 | A | | | | 32 | | |
| 33 | | | | | B | | | | 34 | | |
| 35 | | | | | C | | | | 36 | | |
| 37 | 15/3 | MISC | EXHAUST FAN | 1.00 | A | | | | 38 | | |
| 39 | | | | | B | | | | 40 | | |
| 41 | | | | | C | | | | 42 | | |
| TOTAL KVA: 20.13 | | | | LTG 4.80 | AH 0.00 | KIT 0.00 | COOLING DEMAND (KVA): 16.09 | | | | |
| TOTAL AMPS: 55.88 | | | | REC 0.00 | PR 0.00 | WH 0.00 | HEATING DEMAND (KVA): 12.98 | | | | |
| | | | | AC/HP 3.85 | 2nd HT 0.00 | MISC 10.28 | 125% DEMAND AMPS: 55.88 | | | | |



PARTIAL POWER RISER DIAGRAM
NOT TO SCALE



ELEVATOR RISER DIAGRAM
NOT TO SCALE

- PANELBOARD FEEDER SCHEDULE:
- (P1) 225A PANEL FEEDER: 1#4G, 4#4/0, 2 1/2" C.
 - (P2) 125A EXISTING ATS FEEDER: REUSE EXISTING CONDUIT WHERE POSSIBLE. PROVIDE 1#4G, 4#1/0, 1 1/2" C. WHERE NECESSARY.
 - (P3) 125A EXISTING EMERGENCY STANDBY ELEVATOR FEEDER: REUSE EXISTING CONDUIT AND CONDUCTORS WHERE POSSIBLE. PROVIDE 1#1G, 4#1/0, 1 1/2" C. WHERE NECESSARY.
 - (P4) 225A EXISTING PANEL FEEDER: INSPECT TEST AND REUSE EXISTING CONDUIT AND CONDUCTORS IF POSSIBLE. PROVIDE 1#1G, 4#350sqmil. IN EXISTING CONDUIT IF DEEMED NECESSARY AFTER MEGGER TESTING OR IF REQUIRED FOR INSTALLATION AS ALTERNATE #1.
 - (P5) 125A ELEVATOR CONTROLLER BRANCH CIRCUIT: 1#4 G, 4#1/0, 1 1/2" C.

FIRE ALARM SYSTEM NOTES

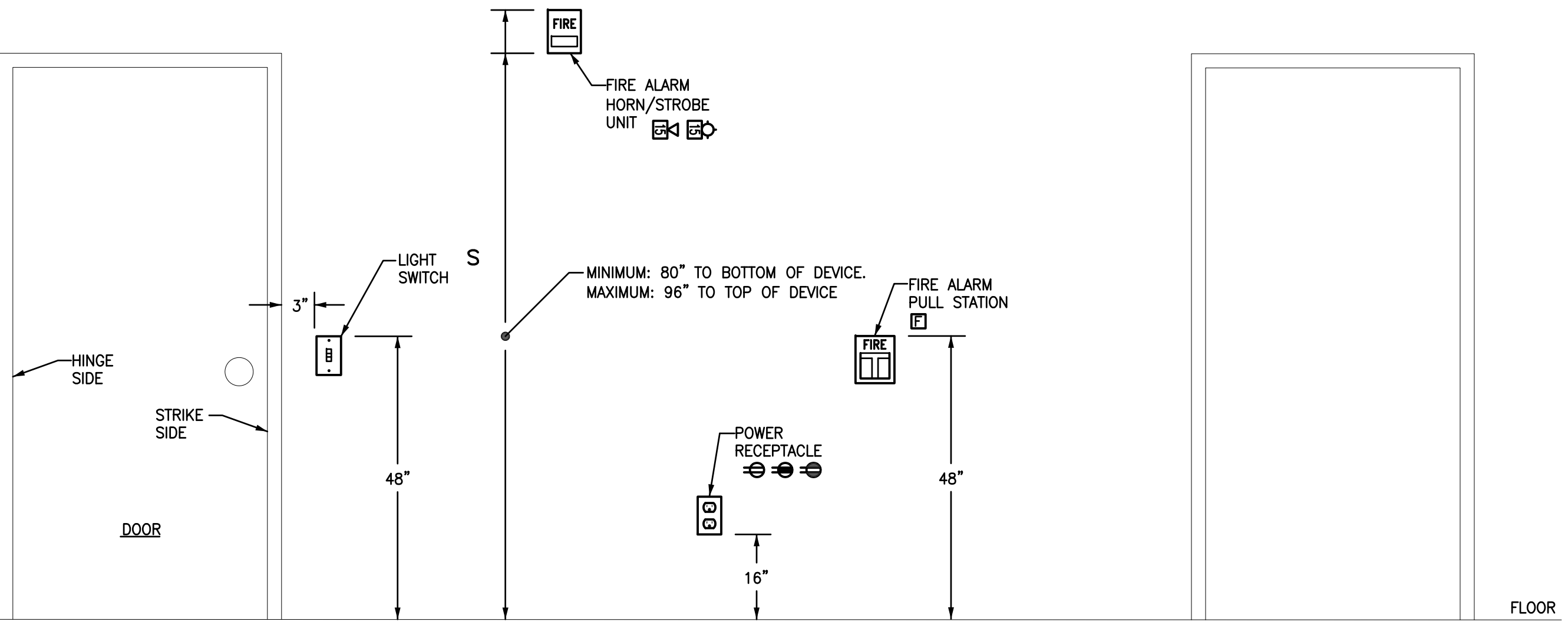
- ALL FIRE ALARM SYSTEM WIRING SHALL BE RUN ABOVE GRADE IN WALLS AND ABOVE CEILING IN METAL RACEWAYS. RACEWAYS SHALL BE RUN CONCEALED WHERE PRACTICAL. FIRE ALARM WIRING MAY NOT BE RUN UNDERGROUND OR IN SLAB UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS.
 - VERIFY WIRING REQUIREMENTS WITH EQUIPMENT MFR PRIOR TO ROUGH-IN AND INSTALL ACCORDINGLY. NOTIFICATION APPLIANCE CIRCUITS SHALL BE RUN AS REQ'D TO PROVIDE A 3-PULSE TEMPORAL AUDIBLE SIGNAL WITHOUT COMPROMISING THE OPERATION OF THE STROBES.
 - PROVIDE SYNCHRONIZATION OF ALL STROBE LIGHTS.
 - EQUIPMENT SUPPLIER SHALL SUBMIT SHOP DRAWINGS INDICATING EXACT ROUTING OF RACEWAYS AND NUMBER AND SIZE OF CONDUCTORS IN RACEWAYS FOR THE FIRE ALARM SYSTEM. THE ELECTRICAL CONTRACTOR SHALL USE THE REVIEWED DRAWING FOR ROUGH-IN OF FIRE ALARM SYSTEM RACEWAYS AND OUTLET BOXES.
 - SMOKE DETECTORS SHALL BE LOCATED AS NEAR THE CENTER OF THE ROOM AS PRACTICAL. DO NOT LOCATE ANY DETECTOR WITHIN 3'-FT. OF AN HVAC SUPPLY GRILLE. PROVIDE AUXILIARY CONTACT ON SMOKE DETECTORS LOCATED IN CORRIDORS AT SMOKE DOORS. WIRE MAGNETIC DOOR HOLDERS THRU AUXILIARY CONTACT TO RELEASE DOOR WHEN THOSE DETECTORS ARE ACTUATED.
 - LOCATE MANUAL PULL STATIONS WITHIN 5'-0" OF THE EXIT DOOR PER NFPA AND IBC REQUIREMENTS. PROVIDE ANY SPECIAL ADAPTER PLATES OR COVER PLATES REQ'D TO MOUNT PULL STATIONS IN DOOR MULLIONS WHERE APPLICABLE.
 - ADDITIONAL FIRE ALARM DEVICES: THE ELECTRICAL CONTRACTOR AND FIRE ALARM SYSTEM INSTALLER SHALL FURNISH AND INSTALL ADDITIONAL FIRE ALARM DEVICES AT THE DISCRETION OF THE ARCHITECT/ENGINEER AND/OR THE AUTHORITY HAVING JURISDICTION IN THE FOLLOWING QUANTITIES:
 - (1) HORN/STROBE LIGHTS OR SPEAKER/STROBE LIGHTS
 - (1) STROBE LIGHTS
 - (1) MANUAL PULL STATIONS
 - (2) CEILING MOUNTED SMOKE OR HEAT DETECTORS
- INCLUDE COMPLETE COSTS TO FURNISH AND INSTALL THE ABOVE ADDITIONAL DEVICES IN BASE BID, INCLUDING ALL CONDUIT, OUTLET BOXES, 120V POWER, WIRING, AND SYSTEM PROGRAMMING. ANY DEVICES NOT USED SHALL BE TURNED OVER TO THE OWNER AS SPARE DEVICES AT THE END OF THE PROJECT.

ABBREVIATIONS

| A | AMPERES | LTG | LIGHTING |
|------|--------------------------|------|---|
| AFB | ABOVE FINISHED FLOOR | MLO | MAIN LUGS ONLY |
| AFG | ABOVE FINISHED GRADE | NEC | NATIONAL ELECTRICAL CODE |
| AWG | AMERICAN WIRE GAUGE | NEMA | NATIONAL ELECTRICAL MANUFACTURERS ASSOCIATION |
| CKT | CIRCUIT | NIC | NOT IN CONTRACT |
| CU | COPPER | PH# | PHASE |
| EC | EMPTY CONDUIT | RCPT | RECEPTACLE |
| EQPT | EQUIPMENT | RE: | REFER TO |
| EXST | EXISTING | TYP | TYPICAL |
| FWE | FURNISHED WITH EQUIPMENT | UNO | UNLESS NOTED OTHERWISE |
| GFI | GROUND FAULT INTERRUPTER | V | VOLTS |
| IAW | IN ACCORDANCE WITH | W | WIRE OR WATTS |
| KVA | KILOVOLTAMPERES | WP | WEATHERPROOF |
| KW | KILOWATTS | | |

LIGHTING FIXTURE SCHEDULE

| TYPE | VOLTAGE | DESCRIPTION | MANUFACTURERS | LAMP | WATTS (120/277) |
|------|---------|--|---|---------------------|-----------------|
| A | 120V | 4" VAPORTIGHT SURFACE MOUNT WITH HIGH-IMPACT ACRYLIC LENS AND WET LOCATION FITTINGS. ADVANCE IOP-3P32-SC (BF=1.00, 63W) INSTANT START BALLAST. | LITHONIA VRI-232-MVOLT-WLF H.E. WILLIAMS 92-4-232-A-WET/2-UNV, OR EQUIVALENT | 2/F32T8/ADV841/ALTO | 63 |
| B | 120V | 4" ROUGH SERVICE WRAPAROUND WITH ADVANCE IOP-3P32-SC (BF=1.00, 63W) INSTANT START BALLAST. | LITHONIA VW-232-120-ACR H.E. WILLIAMS V1216-4-232-DR-120, OR EQUIVALENT | 2/F32T8/ADV841/ALTO | 63 |
| BE | 120V | SAME AS TYPE B EXCEPT WITH 1400 LUMEN EMERGENCY BATTERY PACK AND INTEGRAL TEST SWITCH | EQUIVALENT CATALOG NUMBERS TO ADD BODINE B50 OR EQUIVALENT BY IOTA OR CHLORIDE TO FIXTURE. | 2/F32T8/ADV841/ALTO | 63 |
| C | 120V | WALL MOUNT LED SCONE WITH INTEGRAL PHOTOCELL AND WALL MOUNTED BOX FOR SURFACE CONDUIT FEED. | LITHONIA WST LED 1 10A700/40K SR3 120 BWP PE ELCW DBLXD GARDOCO 121-EM-MT-35LA-NW-UNV-PLB-PC-WS OR EQUIVALENT | INCLUDED | 35 |



TYPICAL MOUNTING HEIGHTS FOR WALL MOUNTED DEVICES
NOT TO SCALE

ELECTRICAL SYMBOLS

| | |
|----------|--|
| [Symbol] | WALL OR CEILING MOUNTED FIXTURE. |
| [Symbol] | WALL OR CEILING MOUNTED FIXTURE. |
| [Symbol] | SINGLE POLE SWITCH, 20A, 120/277V, 48" AFF TO TOP OF OUTLET BOX. SUBSCRIPT DENOTES OUTLETS CONTROLLED. |
| [Symbol] | SAME, EXCEPT WEATHERPROOF. |
| [Symbol] | SURFACE MOUNTED DUPLEX RECEPTACLE, 20A, 120V, NEMA 5/20R, 16" AFF. |
| [Symbol] | SAME, EXCEPT SINGLE RECEPTACLE, MOUNT BEHIND EQUIPMENT AS DIRECTED ON JOB. |
| [Symbol] | NEW GFI RECEPTACLE TO BE INSTALLED IN PLACE OF OLD RECEPTACLE BEING REMOVED. "WP" DENOTES WEATHERPROOF COVER PLATE. |
| [Symbol] | TELEPHONE OUTLET, SINGLE GANG BOX, 16" AFF. UNLESS NOTED OTHERWISE. SEE SPECIFICATIONS AND PLANS FOR WIRING AND CONDUIT. |
| [Symbol] | WALL OR CEILING MOUNTED JUNCTION BOX. |
| [Symbol] | PANELBOARD. |
| [Symbol] | SAFETY SWITCH, 3 POLE, 240 VOLT RATED. NUMBER ABOVE BAR DENOTES SWITCH RATING, NUMBER BELOW BAR DENOTES FUSE RATING. "WP" DENOTES NEMA 3R ENCLOSURE. |
| [Symbol] | TIME CLOCK |
| [Symbol] | EXISTING FIRE ALARM CONTROL PANEL. |
| [Symbol] | FIRE ALARM MANUAL PULL STATION. 48" AFF. |
| [Symbol] | FIRE ALARM HORN AND FLASHING LIGHT, CANDELA RATING AS NOTED. MOUNT BETWEEN 80" AND 96" AFF PER NFPA 72 AND ADA REQ'S. |
| [Symbol] | SMOKE DETECTOR. CEILING MOUNTED, UNLESS NOTED. |
| [Symbol] | EXISTING SMOKE DETECTOR. |
| [Symbol] | EXISTING HEAT DETECTOR. |
| [Symbol] | BRANCH CIRCUIT WIRING RUN CONCEALED IN WALLS OR CEILING, 1#12G, 2#12 UNLESS NOTED OTHERWISE. ARROW DENOTES HOME RUN AND NUMERICAL DENOTES CIRCUIT NUMBER. WHERE MORE THAN TWO CONDUCTORS ARE REQUIRED, SLASH MARKS INDICATE NUMBER OF #12 CONDUCTORS: SHORT SLASH DENOTES HOT OR SWITCH LEG, LONG SLASH DENOTES NEUTRAL, "L" DENOTES GROUNDING WIRE. |
| [Symbol] | MULTI-WIRE BRANCH CIRCUITS USING A SHARED OR COMMON NEUTRAL ARE NOT PERMITTED ON THIS PROJECT. THE CONTRACTOR SHALL PULL A SEPARATE NEUTRAL FOR ALL 120V AND 277V CIRCUITS CONDUIT HOMERUNS TO PANELBOARDS SHALL BE 3/4" MINIMUM. OTHERWISE RACEWAYS SHALL BE 1/2" MINIMUM, EXCEPT THAT FLEXIBLE CONDUIT SHALL BE 3/8" MINIMUM. |
| [Symbol] | SAME, EXCEPT RUN UNDERGROUND OR UNDERFLOOR. |
| [Symbol] | SAME, EXCEPT RUN EXPOSED. |

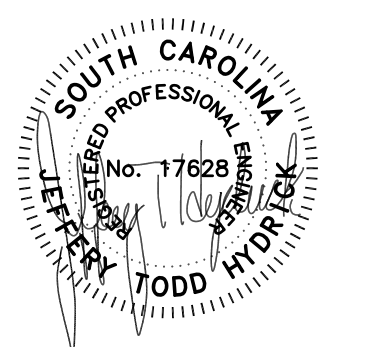
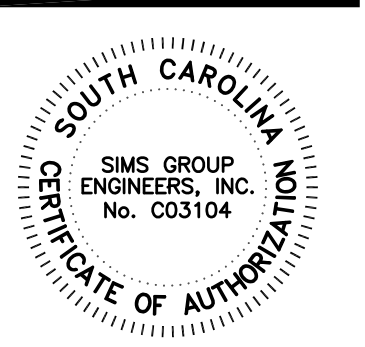
ELECTRICAL SHEET LIST

- E001 - ELECTRICAL SYMBOLS, NOTES AND DETAILS
- E002 - ELECTRICAL DEMOLITION PLAN
- E101 - ELECTRICAL PLAN

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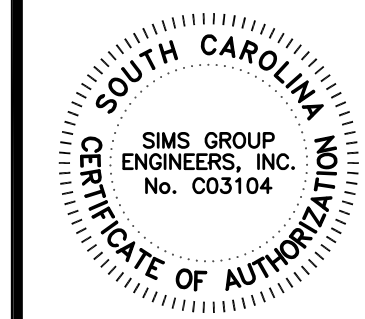
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COLUMBIA, SOUTH CAROLINA

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COMM NO: 12109
DATE: 11/15/2012
SHEET TITLE: ELECTRICAL SYMBOLS, NOTES AND DETAILS

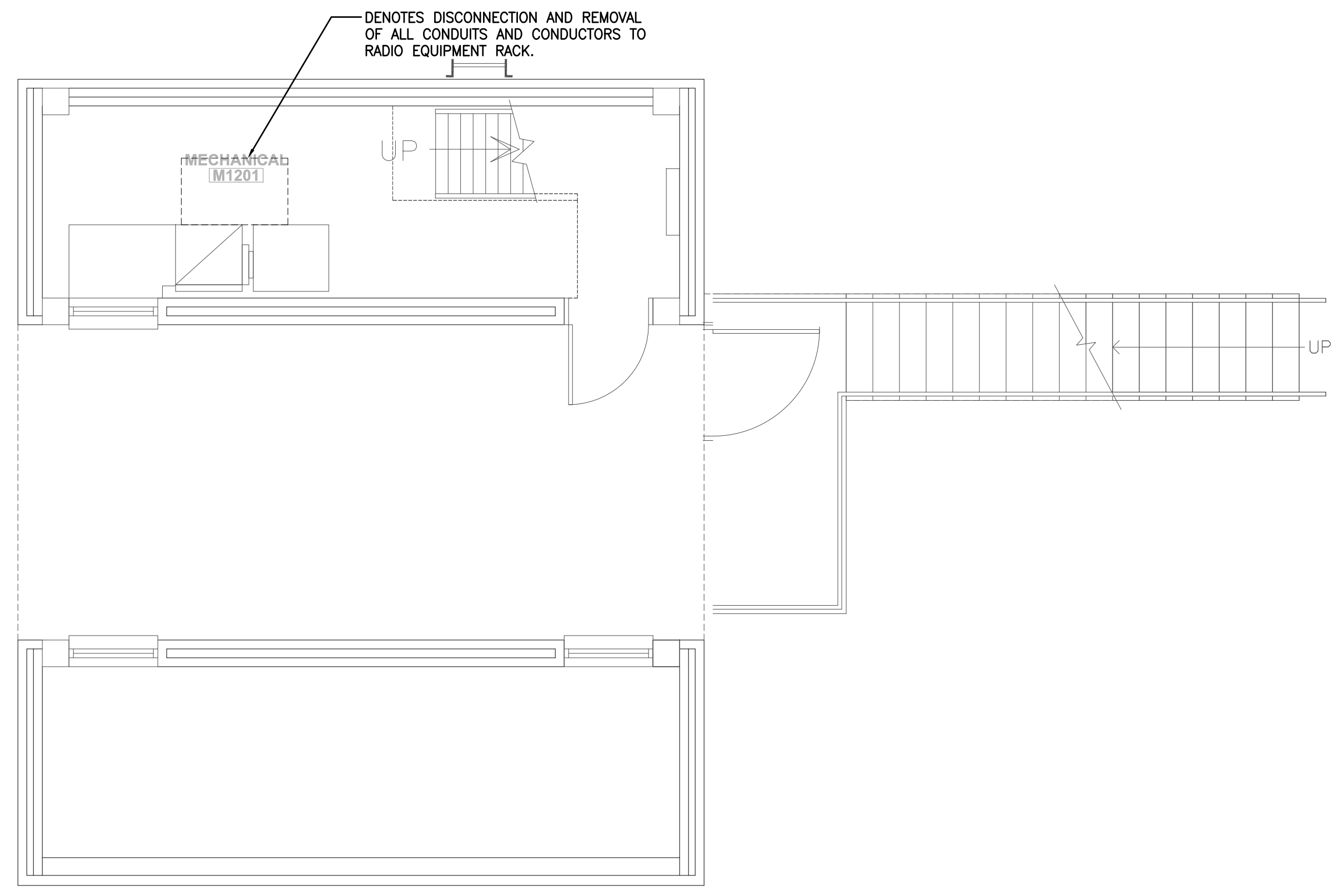
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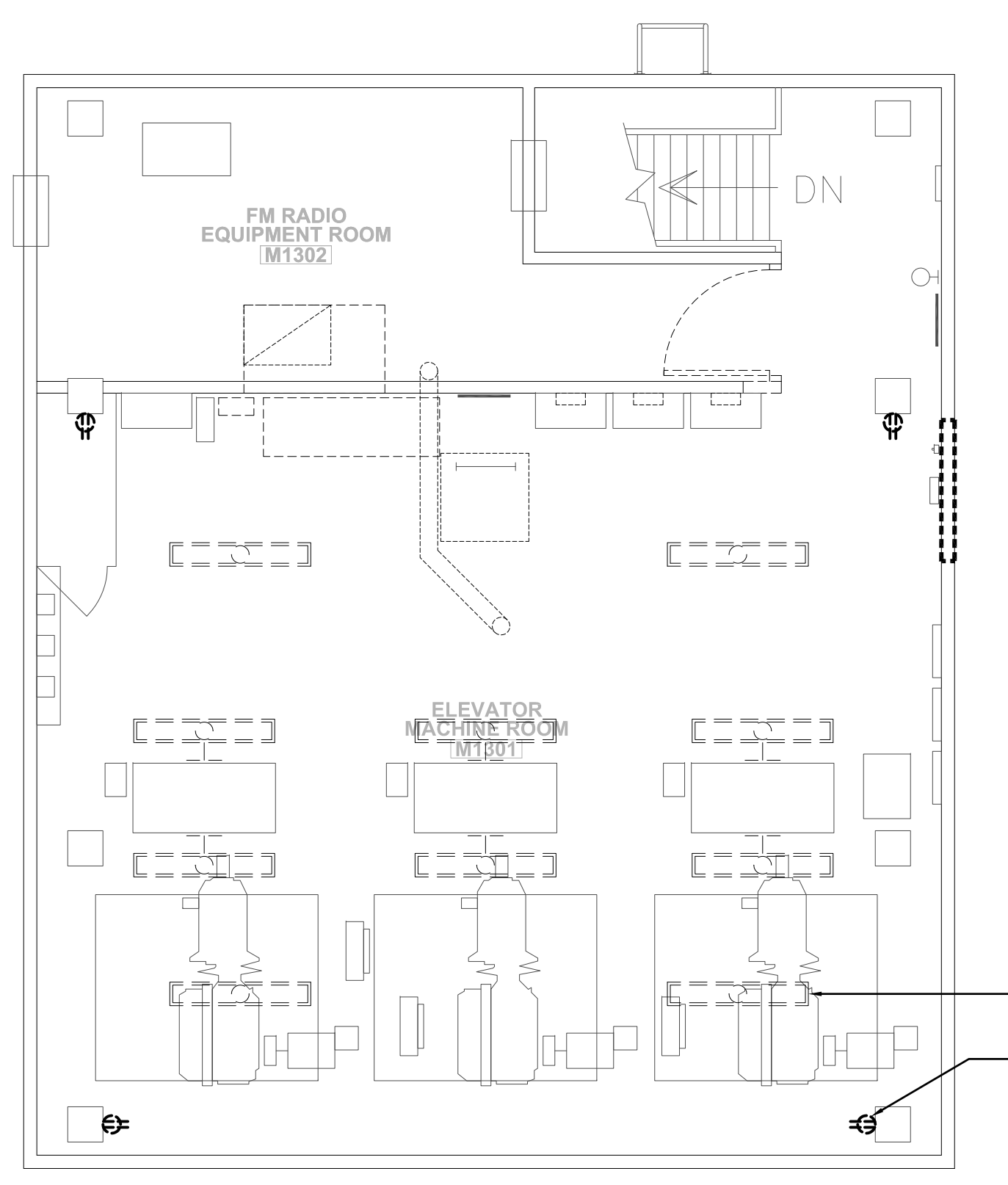
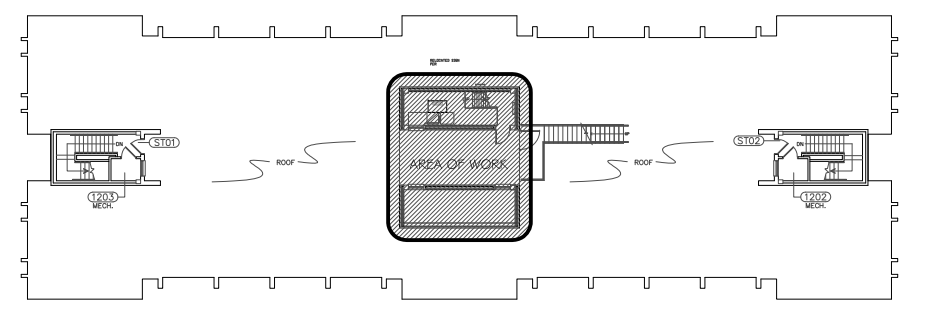
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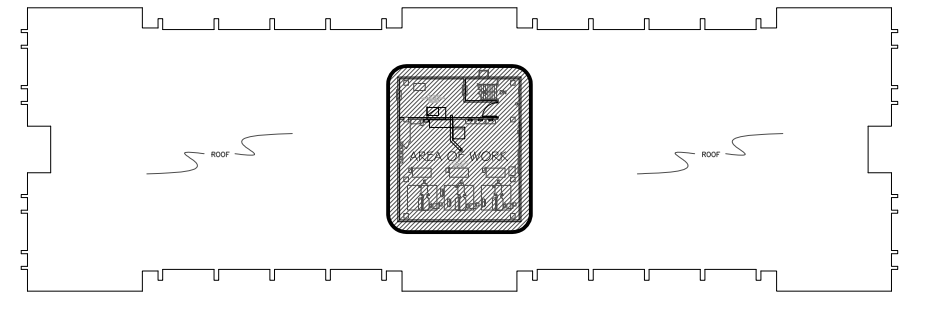
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| COMM NO.: | 12109 |
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| SHEET TITLE: | ELECTRICAL DEMOLITION |



ROOF LEVEL DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



MACHINE ROOM DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



DEMOLITION NOTES THIS SHEET

- IT IS THE GENERAL INTENTION OF THESE DRAWINGS TO COVER ALL SITUATIONS WHERE AN ITEM IS TO BE REMOVED, WHETHER IT HAPPENS TO BE A LIGHT FIXTURE, DUPLEX RECEPTACLE, LIGHT SWITCH, FIRE ALARM DEVICE, OR OTHER ELECTRICAL ITEM. THE ELECTRICAL CONTRACTOR SHALL ASSIST THE MECHANICAL AND GENERAL CONTRACTORS IN REMOVAL OF EQUIPMENT WITH ELECTRICAL CONNECTIONS BEING REMOVED BY THESE CONTRACTORS.
- PRIOR TO SUBMITTING BID, THE CONTRACTOR SHALL SURVEY THE EXISTING BUILDING AND MAKE NOTE OF ANY ADDITIONAL DEMOLITION AND/OR ANY ADDITIONAL REMOVAL AND RELOCATION WHICH MAY BE REQ'D IN ORDER TO ACCOMPLISH RENOVATIONS INDICATED IN CONTRACT DOCUMENTS. NO CHANGE ORDER WILL BE ISSUED FOR ADDITIONAL WORK REQUIRED FOR DEMOLITION, REMOVAL, OR RELOCATION WORK NOT INDICATED ON THESE DRAWINGS BUT NECESSARY TO COMPLETE WORK.
- IN ALL AREAS WHERE EXISTING WALLS ARE BEING REMOVED, NEW WALLS ARE BEING ADDED, AND WHERE OTHER DEMOLITION WORK IS OCCURRING, REMOVE ALL EXISTING RECEPTACLES, LIGHTS, AND OTHER ELECTRICAL DEVICES, AND ALL WIRING AND CONDUIT NOT BEING REUSED. EXISTING CONDUIT RUN CONCEALED IN EXISTING WALLS NOT BEING REMOVED AND/OR REPLACED MAY BE ABANDONED. ALL DEMOLITION MUST BE COORDINATED WITH THE ARCHITECT AND WITH ALL OTHER TRADES TO AVOID CONFLICTS. REFER TO THE ARCHITECTURAL DEMOLITION PLAN.
- NO EXISTING ELECTRICAL MATERIALS, EQUIPMENT, WIRING, OR CONDUIT BEING REMOVED MAY BE REUSED ON THIS PROJECT UNLESS SPECIFICALLY NOTED OTHERWISE ON THESE DRAWINGS. ALL EXISTING ELECTRICAL MATERIALS AND EQUIPMENT NOT BEING REUSED SHALL BE DISPOSED OF AS INDICATED IN GENERAL NOTES.
- THE CONTRACTOR SHALL REFER TO ARCHITECTURAL DEMOLITION PLANS AND NOTES AND REMOVE OR RELOCATE EQUIPMENT AS NOTED.
- THE CONTRACTOR SHALL COORDINATE THE INTERRUPTION OF POWER TO THE ELEVATORS AND RADIO EQUIPMENT WITH THE OWNER. STAGING AND SCHEDULING OF THE TRANSFER AND RECONNECTION OF ELEVATOR AND RADIO EQUIPMENT CIRCUITING TO NEW PANELS SHALL BE DIRECTED AND APPROVED BY THE OWNER.
- THE CONTRACTOR SHALL PROVIDE TEMPORARY POWER TO EXISTING WINDOW UNIT AIR CONDITIONER THAT IS TO REMAIN AND ALL RADIO EQUIPMENT AS REQUIRED TO MAINTAIN OPERATION DURING CONNECTION OF EQUIPMENT TO THE NEW RADIO ROOM DISTRIBUTION PANEL.
- UPON DISCONNECTION OF EXISTING PANEL PH-DP, THE CONTRACTOR SHALL INSPECT AND MEGGER THE EXISTING PANEL FEEDER AND INSPECT THE EXISTING FEEDER CONDUIT. THE CONTRACTOR SHALL PROVIDE AN ALTERNATE BID TO REPLACE THE FEEDER CONDUIT AND AN ALTERNATE BID TO REPLACE THE FEEDER CONDUCTORS IF DEEMED NECESSARY BY THE OWNER OR IF REQUIRED FOR INSTALLATION OF THE REPLACEMENT PANEL.

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MECHANICAL EQUIPMENT SCHEDULE

| ITEM | VOLTAGE | MCA | MOC | CONDUIT | WIRING | DISCONNECT Amps/Volts/Fuse/Enc | NOTE |
|--------|----------|-------|-----|---------|--------------|-----------------------------------|------|
| SHP-1 | 208/60/3 | 42.6A | 60A | 1" C | 1#10 G, 3#4 | 60A/240V/60A/NEMA 3R | 1 |
| AHU-1 | 208/60/3 | 7.8A | 15A | 3/4" C | 1#12 G, 3#12 | 20A/240V/15A/NEMA 1 | 1 |
| SHP-2 | 208/60/3 | 17.1A | 20A | 3/4" C | 1#12 G, 2#12 | 30A/240V/20A/NEMA 3R | 1 |
| DAHU-2 | | | | 3/4" C | 1#12 G, 2#12 | - | 3 |

MECHANICAL EQUIPMENT NOTES:
 DENOTES HVAC UNIT ID TAG, TAG CORRESPONDS TO UNIT ID ON MECHANICAL DRAWINGS. TAG SHOWN IS FOR HVAC UNIT. AHU = AIR HANDLING UNIT, 1 = UNIT NUMBER. REFER TO MECHANICAL EQUIPMENT SCHEDULE ABOVE FOR CONDUIT, WIRING, & DISCONNECT TYPES/SIZES. LOCATE DISCONNECTS ADJACENT TO EQUIPMENT IN AN ACCESSIBLE LOCATION, FIELD VERIFY.

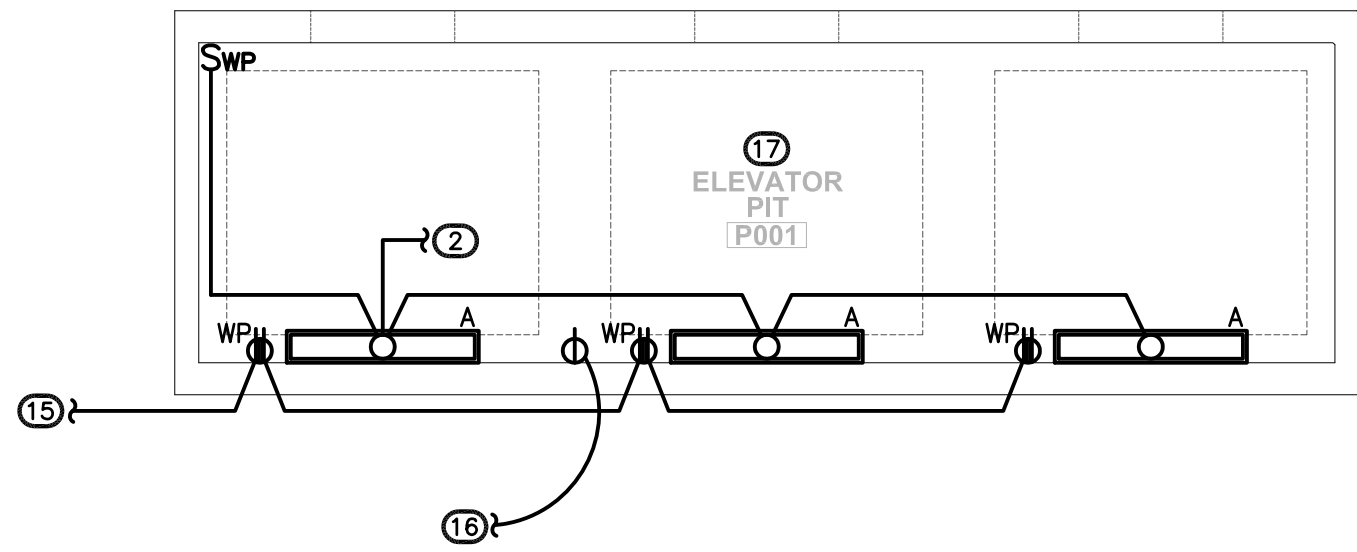
COORDINATE VOLTAGES WITH MECHANICAL CONTRACTOR PRIOR TO START OF WORK. IF EQUIPMENT IS SUPPLIED AT A VOLTAGE OTHER THAN THAT PROVIDED, THE GENERAL CONTRACTOR AND SUBCONTRACTORS WILL BE HELD RESPONSIBLE FOR MAKING ANY NECESSARY ADJUSTMENTS TO CORRECT THE CONFLICT, AT NO COST TO THE OWNER, TO THE SATISFACTION OF THE ELECTRICAL ENGINEER. REFER TO MECHANICAL DRAWINGS FOR EQUIPMENT LOCATIONS, SUBJECT TO FIELD VERIFICATION.

INFORMATION SHOWN IN SCHEDULE WAS TAKEN FROM DRAWINGS FURNISHED BY THE MECHANICAL ENGINEER. PRIOR TO STARTING WORK AND BEFORE ORDERING ANY EQUIPMENT, THE ELECTRICAL CONTRACTOR SHALL REVIEW THE HVAC SHOP DRAWINGS AND SHALL VERIFY ALL EQUIPMENT FOR CONFORMANCE WITH THE INFORMATION SHOWN IN THE SCHEDULE (VOLTAGE, MCA, MOC), AND SHALL NOTIFY THE ENGINEER AND THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES BETWEEN THE MECHANICAL SHOP DRAWINGS AND THIS SCHEDULE.

ALL MOTOR STARTERS AND VARIABLE FREQUENCY DRIVES (VFDs) FOR HVAC-RELATED EQUIPMENT THAT ARE NOT FACTORY-MOUNTED SHALL BE FURNISHED BY THE MECHANICAL CONTRACTOR, INSTALLED AND POWER WIRED BY THE ELECTRICAL CONTRACTOR UNLESS NOTED OTHERWISE ON THE DESIGN DOCUMENTS. REFER TO MECHANICAL DRAWINGS FOR LOCATIONS AND QUANTITIES OF MOTOR STARTERS AND VFDs.

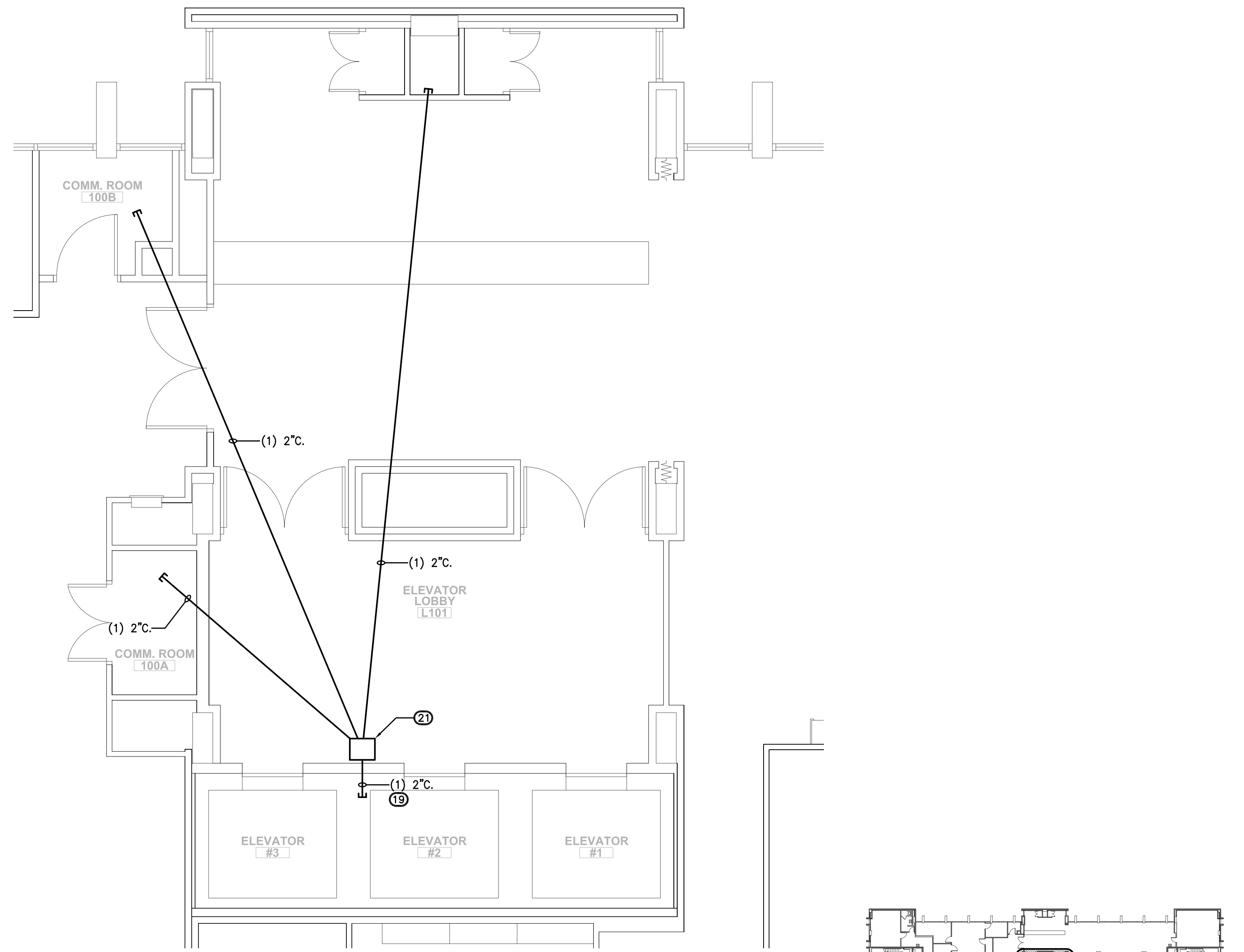
USE HACR TYPE CIRCUIT BREAKERS FOR ALL HVAC UNITS.

- WIRE THRU THERMOSTAT, FURNISHED BY MECHANICAL CONTRACTOR, INSTALLED & WIRED BY ELECTRICAL CONTRACTOR.
- IF UNIT SUPPLIED WITH CORD & PLUG, PROVIDE RECEPTACLE TO MATCH PLUG IN LIEU OF DISCONNECT. ELIMINATE DISCONNECT IF UNIT SUPPLIED WITH BUILT-IN DISCONNECT, VERIFY VOLTAGE.
- INDOOR UNIT WIRED FROM OUTDOOR UNIT BY MECHANICAL CONTRACTOR. PROVIDE CONDUIT WITH PULL WIRE AND DISCONNECT AS NOTED.
- PROVIDE SEPARATE 120V CIRCUIT FOR CONDENSATE PUMP ON ALL AHU UNITS AND OTHER NOTED UNITS IF REQUIRED.

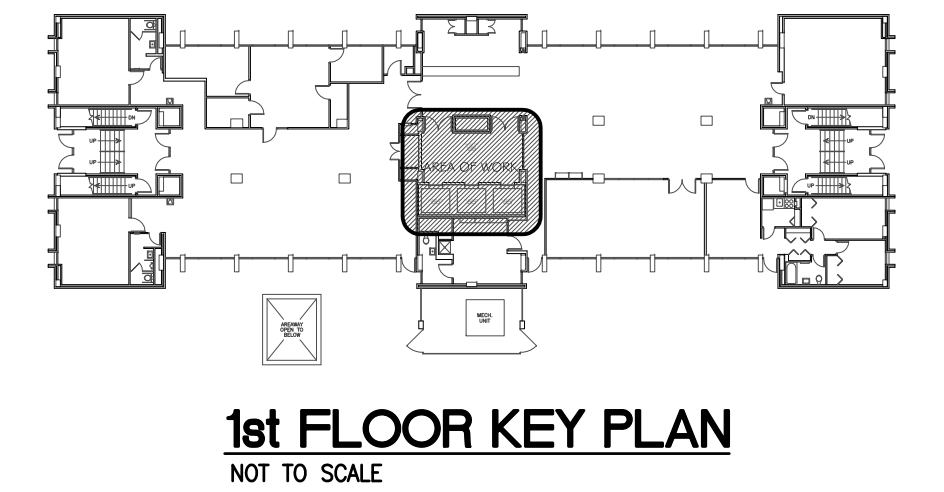


ELEVATOR PIT ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"

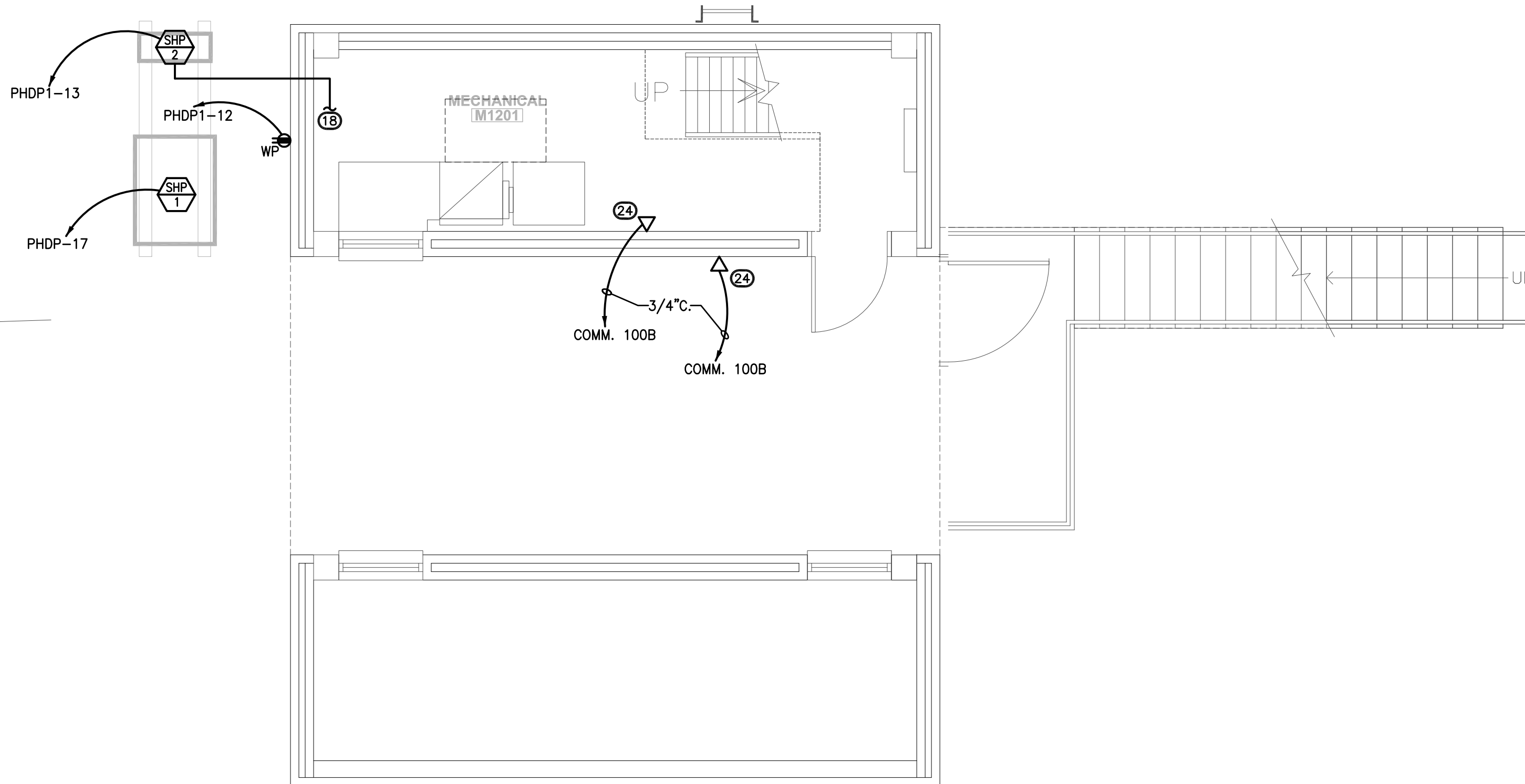
- NOTES THIS SHEET**
- CONDUITS NOT PERTAINING TO ELEVATOR EQUIPMENT SHALL NOT BE INSTALLED IN ROOM.
 - CONNECT TO RECEPTACLE CIRCUIT AHEAD OF GFCI PROTECTION.
 - EXISTING HEAT DETECTOR, TYPICAL FOR ROOM, TOTAL OF (4). VERIFY OPERATION AND REPLACE NON-OPERATIONAL UNITS AS REQUIRED.
 - RELOCATE EXISTING FIRE ALARM EXTENDER CABINET AND TELEPHONE JACK. PROVIDE CONDUIT, CONDUCTORS, PROGRAMMING AND ALL MATERIALS AS REQUIRED FOR OPERATION.
 - EXISTING FIRE ALARM PULL STATION.
 - LOCATE FIRE ALARM STROBE ON BEAM OVER DOOR.
 - RELOCATE EXISTING CONDUITS ON FLOOR OVER DOOR AS REQUIRED.
 - EXISTING ELEVATOR CAR LIGHT AND FAN DISCONNECTS.
 - EXISTING ELEVATOR CONTROL INTERFACE MODULES.
 - RELOCATE (2) EXISTING SHUNT TRIP CONTROL MODULES UNDER ATS UNITS TO FAC PANEL LOCATION. VERIFY OPERATION AND REPLACE NON-OPERATIONAL UNITS AS REQUIRED.
 - EXTEND AND CONNECT EXISTING RECEPTACLE AND LIGHTING CIRCUITS TO PANEL PHDP1. SEE PANEL SCHEDULE FOR CIRCUIT DESIGNATIONS.
 - CAPTURE AND EXTEND ALL BRANCH CIRCUITS IN EXISTING PHDP NOT ASSOCIATED WITH ELEVATORS TO PANEL PHDP1.
 - VERIFY THAT PANEL PHDP IS LOCATED OVER EXISTING PHDP FEEDER TO ALLOW CAPTURE OF FEEDER CONDUIT.
 - ELEVATOR #1 SHUNT TRIP BREAKER. PROVIDE SHUNT TRIP CONTROL MODULE FOR CONTROL OF ELEVATOR #1 ENCLOSED SHUNT TRIP CIRCUIT BREAKER.
 - EXTEND EXISTING ELEVATOR PIT RECEPTACLE BRANCH CIRCUIT TO RECEPTACLES.
 - EXTEND EXISTING ELEVATOR SUMP PUMP BRANCH CIRCUIT TO RECEPTACLE.
 - REPLACE EXISTING RECEPTACLES AND LIGHTING AS INDICATED IN PIT AS INDICATED. COORDINATE WITH AND LOCATE RECEPTACLES AND FIXTURES AS REQUIRED BY THE ELEVATOR MANUFACTURER.
 - EXTEND CIRCUIT TO DAHU-2 AS REQUIRED PER MANUFACTURER'S INSTRUCTIONS.
 - VERIFY LOCATION AND EXTEND CONDUIT TO VERTICAL ELEVATOR DUCT RISER.
 - PROVIDE PULL STRING FOR ALL EMPTY CONDUITS.
 - PROVIDE JUNCTION BOX ABOVE CEILING. SIZE PER NEC AND ELEVATOR MANUFACTURER'S REQUIREMENTS.
 - DEVICES ESSENTIAL TO THE OPERATION OF ANY SYSTEM FOUND TO BE INOPERABLE SHALL BE REPLACED AS PART OF THE BASE BID.
 - COORDINATE FIXTURE LOCATIONS TO ACCOMMODATE EQUIPMENT LOCATIONS AS REQUIRED BY THE ELEVATOR MANUFACTURER.
 - DATA OUTLET FOR METASYS NETWORK CONNECTION. COORDINATE LOCATION WITH TEMPERATURE SENSOR.



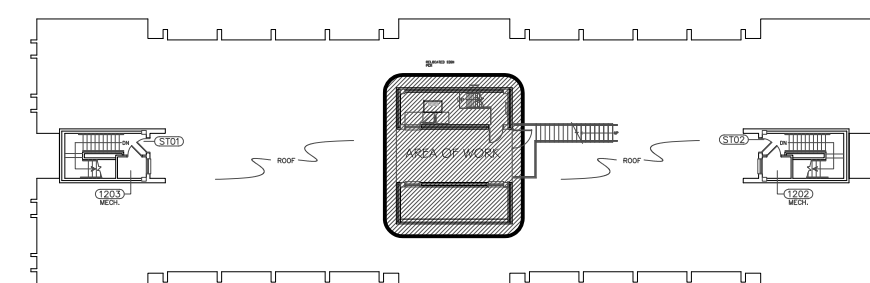
1st FLOOR ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"



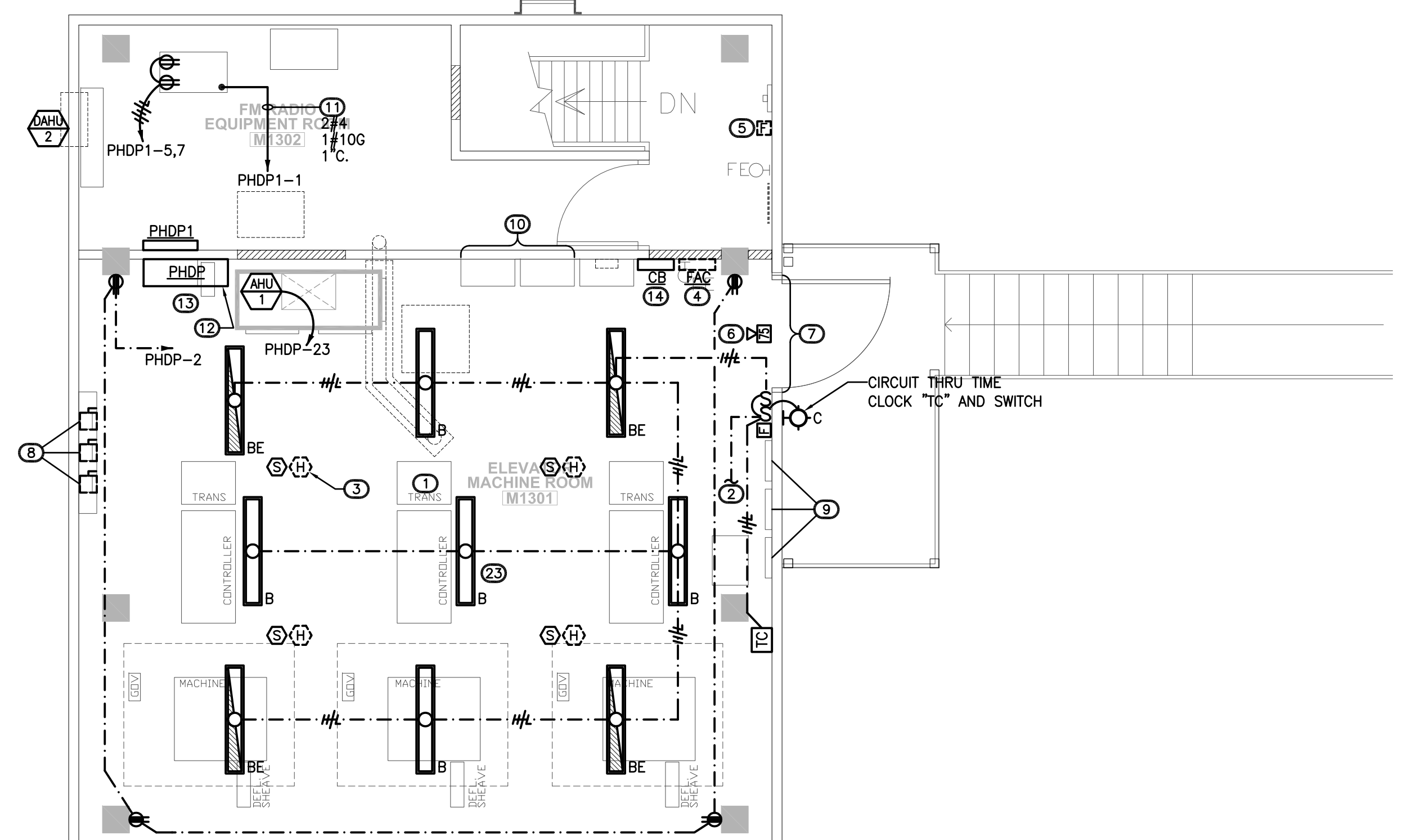
1st FLOOR KEY PLAN
NOT TO SCALE



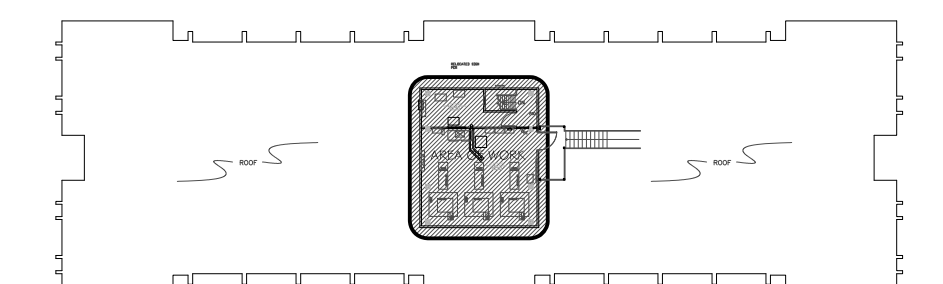
ROOF LEVEL ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"



ROOF LEVEL KEY PLAN
NOT TO SCALE



MACHINE ROOM ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"



MACHINE ROOM KEY PLAN
NOT TO SCALE

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REVISIONS:

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ELECTRICAL

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